



**SOUTH BURNETT**  
REGIONAL COUNCIL

ABN 89 972 463 351

Officer: Development Engineer - Basanta  
Direct Telephone: 07 4189 9100  
Our Reference: OPW25/0019

6 January 2026

The Planning Place  
7/273 Abbotsford Road  
BOWEN HILLS QLD 4006

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southburnettregion

Dear Sir/Madam

## Decision Notice

### Planning Act 2016

I refer to your application and advise that on 24 December 2025, Council's Delegated Authority decided to approve the application in full subject to conditions.

Details of the decision are as follows:

#### APPLICATION DETAILS

Application No: OPW25/0019  
Street Address: 73 & 75 Buckingham Street and 48, 50 & 52 Logan Street  
KINGAROY  
Real Property Description: Lot 184 & 186 on SP219380 and 185, 210 & 211 on  
SP227676  
Planning Scheme: South Burnett Regional Council

#### DECISION DETAILS

Type of Decision: Approval  
Type of Approval: Development Permit Operational Work Road Works (Internal),  
Stormwater, and Earthworks  
Date of Decision: 24 December 2025

#### CURRENCY PERIOD OF APPROVAL

The currency period for this development approval is 2 years starting the day that this development approval takes effect. (Refer to Section 85 "Lapsing of approval at end of currency period" of the *Planning Act 2016*.)

#### INFRASTRUCTURE

Not Applicable.

## ASSESSMENT MANAGER CONDITIONS

ENG 1 Compliance with the plans approved by Council and specifications submitted with Development Application OPW25/0019 approval conditions, all Council Planning Scheme Policies.

ENG 2 This approval extends to Road Work (Internal), Stormwater, Earthworks as detailed, and is conditional upon a set of "Issued for Construction" drawings, amended if required by the conditions of this approval, being submitted to Council for endorsement, prior to pre-start meeting.

ENG 3 Any infrastructure required to be constructed under this application is "non-trunk" infrastructure, and imposed pursuant to Section 145 of the *Planning Act 2016*.

ENG 4 Undertake all approved works and works required by conditions of this development approval at no cost to Council.

ENG 5 Submit to Council for approval, an Inspection and Test Plan certified by a suitably qualified Engineer (RPEQ – Civil) prior to commencement of any work and prior to any pre-start meeting.

ENG 6 Pay to Council, inspection fees based on Council's Fees and Charges current at the time of commencement of works and based on the estimated project cost as estimated or accepted by Council prior to the pre-start meeting.

ENG 7 Adhere to the following hours of construction unless otherwise approved in writing by Council:

Monday to Saturday:	6.30am to 6.30pm	Noise permitted
Monday to Sunday:	6.30pm to 6.30am	No noise permitted
Sunday and Public Holidays:		No noise permitted

Do not conduct work or business that causes audible noise from or on the site outside the above hours.

ENG 8 Be responsible to carry out Work Health and Safety legislative requirements.

ENG 9 Ensure all work sites are maintained in a clean, orderly state at all times.

ENG 10 Manage all waste in accordance with the relevant legislation and regulations and dispose of regulated waste at a licensed facility of South Burnett Regional Council by a licensed regulated waste disposal contractor.

ENG 11 Be responsible for the location and protection of any Council and public utility services infrastructure and assets that may be impacted on during construction of the development.

ENG 12 Repair all damages incurred to Council and public utility services infrastructure and assets, as a result of the proposed development, immediately should hazards exist for public health and safety or vehicular safety. Otherwise, repair all damage immediately upon completion of works associated with the development.

ENG 13 Submit to Council, a Certification from a suitably qualified Engineer (RPEQ) that the works have been undertaken in accordance with the approved plans and specifications and to Council's requirements, commencement of the use.

## STORMWATER

ENG 14 Submit to Council for an approval, a Stormwater Management Plan (SMP) certified by a RPEQ civil engineer, as required by condition ENG 13 of the Minor Change to an Existing Approval Council Reference: MCU25/0030 dated 03/11/2025, detailing:

- (a) hydraulic design for 1% AEP and 50% AEP storms; and provision of all software data files for both pre-development and post-development scenarios, demonstrating that the post-development peak stormwater discharge rates are the same or less than the pre-development peak stormwater discharge rates;
- (b) drainage paths within the property and to the lawful point(s) of discharge; and
- (c) details of any cut or fill required to direct stormwater to a lawful point of discharge.

The internal and external stormwater design as submitted in the Operational Work application OPW25/0019 shall be subject to change pending approval of the required SMP.

**Comment:** If the post-development stormwater discharge rates do not exceed the pre-development stormwater discharge rates, then the stormwater pipe proposed within the Logan Street verge may not be required.

ENG 15 Ensure that earthworks and fill on the subject land do not lead to ponding of stormwater or actionable nuisance and ensure that the development and adjoining properties drain freely to a lawful point of discharge in accordance with the Queensland Urban Drainage Manual.

ENG 16 Do not concentrate stormwater onto adjoining properties.

## DEVELOPMENT WORKS

ENG 17 Maintain erosion and sedimentation controls at all times during the course of the project and the ensuing defects liability period. Council Officers will inspect and assess the sediment and erosion control measures and temporary fencing implemented, and any alterations and/or supplementary works required must be incorporated.

ENG 18 Implement measures to prevent site vehicles tracking sediment and other pollutants from the site onto adjoining streets during the course of the project, and to prevent dust nuisance during construction and the ensuing defects liability period.

ENG 19 Be responsible for protecting nearby property owners from dust pollution arising from construction and maintenance of the works required by this approval, and comply with any lawful instructions from the Assessment Manager if, in his opinion, a dust nuisance exists.

ENG 20 Waste material as a result of demolition work and excavation work must not be used as fill as described within the *Waste Reduction and Recycling Act 2011*.

## EARTHWORKS

ENG 21 Supervise bulk earthworks to Level 1 or Level 2 as applicable, and have a frequency of field density testing carried out in accordance with Table 8.1 of AS3798.

ENG 22 Contain cut or fill batters wholly within the subject land. Do not place fill on adjacent properties without providing Council with written permission from the respective property owner(s).

ENG 23 Do not store plant or material on adjoining lands without written permission from the respective property owner(s).

ENG 24 Do not use contaminated material as fill on the site. Undertake any filling using inert materials only, with a maximum particle size of 75mm.

ENG 25 Ensure open drains and fill platforms are constructed with a longitudinal grade on no less than 0.1%.

## **SEWER**

ENG 26 The development shall be connected to the Council reticulated sewer network via single connection.

**Comment:** The proposed pipe work shown on drawings C601, C602, C603, and C604 are not approved as sewer. All internal pipe work related to wastewater shall be designed as Sanitary drainage in accordance with AS3500.2 Sanitary plumbing and drainage.

ENG 27 Any existing sewer main within the site that is not required to service the development, shall be decommissioned, and either removed, or filled with flowable concrete.

## **WATER SUPPLY**

ENG 28 The development shall be connected to the Council reticulated water network via single connection. The single connection shall include a by-pass arrangement for firefighting purposes, in accordance with Council's requirements.

**Comment:** The proposed pipe work shown on drawings C501 and C502 are not approved as water mains. All internal pipe work related to water supply shall be designed in accordance with AS3500.1 Water Services.

ENG 29 Do not keep any external water services interrupted for more than a cumulative total of three hours during development works, and a minimum of five (5) days notice of any interruptions must be provided to Council and any relevant consumers.

## **INSPECTIONS AND TESTING**

ENG 30 Provide Council with a minimum of two (2) clear working days' notice to undertake compulsory inspections and meetings at the following stages:

- a) Pre-start meeting with Council, Contractor, Supervising Engineer and developer;
- b) Water: in accordance with Council's Minimum Requirements for Water and Sewerage Works, and:
  - i. prior to connection of any works to the reticulated water supply system

- (c) Sewer and Sewer Pump Station: in accordance with Council's Minimum Requirements for Water and Sewerage Works, and:
  - i. prior to connection of any works to the existing sewer network.
- (d) Stormwater:
  - i. prior to backfilling of any external stormwater drainage works (if required).
- (e) at the point of completion of all works before placing on-maintenance; and
- (f) at the point of requesting Council to accept the works off-maintenance.

ENG 31 Submit to Council, all inspection and test data in its entirety prepared by the applicant, Engineer, Principal Contractor or by Subcontractors in relation to the Operational Work or as described in the application prior to commencement of the use. Undertake any further inspection, testing or analysis required, due to failure of work to meet specifications or where the testing previously provided is considered insufficient on behalf of the Principal Contractor by a NATA accredited entity (where applicable).

ENG 32 Uncover all works covered prior to inspection to allow inspection by Council at Council's sole discretion.

ENG 33 Allow Council to enter a work site to which this approval relates and undertake testing or analysis of any part of the construction, and Council is not liable for the rectification of or compensation for any damage caused in the testing or analysis process. Should work be found to be not constructed to specification or of poor quality, any reasonable instruction given by Council Officers must be considered to be a condition of approval and undertaken by the Principal Contractor.

ENG 34 Where complete or incomplete works under this approval adversely affect adjoining properties, Council land, roads or other infrastructure, Council requires by notice, works to be completed.

ENG 35 Undertake any works for the safety or health of the community or protection of infrastructure where Council deems it necessary.

## **MAINTENANCE**

ENG 36 Submit to Council, a written request to place constructed works on-maintenance or off-maintenance from the developer's certifying Engineer stating that all approved works have been completed and are ready for Council inspection.

ENG 37 Submit to Council, a Closed-Circuit Television (CCTV) inspection for all underground stormwater drainage and sewerage works undertaken by an accredited provider at on and off-maintenance. A certified copy of the report including a disk or storage device is to be submitted to Council for review and endorsement prior to Council's acceptance of the works on or off-maintenance.

ENG 38 Pay to Council, a maintenance bond of 5% of the cost of the operational work as estimated or accepted by Council, prior to commencement of the on-maintenance period.

ENG 39 Maintain all works that will become Council infrastructure for a period of 12 months (maintenance period) from commencement of the on-maintenance period. Undertake any necessary maintenance or repairs to non-conforming work, defects and/or damage to any works undertaken in relation to this approval, even where damage has resulted from a third-party activity within the maintenance period.

ENG 40 The maintenance bond will be entirely forfeited to Council should there be any failure by the applicant to undertake any such works considered by Council as necessary, to rectify any non-compliant works and to protect public safety. In the event that the bond is insufficient to address the non-compliant works, Council reserves the right to seek restitution. After expiration of the maintenance period and where required maintenance is suitably undertaken to Council's satisfaction, the bond will be returned accordingly, after the project is accepted off-maintenance.

ENG 41 The on-maintenance period commences only when Council provides written confirmation that all of the following are completed:

- a) satisfactory completion of all works and conditions of Operational Work approval including associated Material Change of Use approval;
- b) provision of all necessary test and quality audit requirements;
- c) lodgement with Council, of certification from an RPEQ that the works have been undertaken in accordance with the approved plans and specifications and to Council's requirements;
- d) lodgement of a maintenance bond of 5% of the cost of the operational work as accepted by Council;
- e) submission of "As Constructed" data in the required format; and
- f) compliance with the conditions of approval for any Operational Work and associated Material Change of Use approval and any other approvals on the subject site.

## AS CONSTRUCTED INFORMATION

ENG 42 Submit to Council within 10 working days of completion of the operational work, suitable "As Constructed" drawings in hard copy and AutoCAD format and on GDA Zone 56 co-ordinates. The "As Constructed" drawings or data capture methods as required by Council must be certified by a Registered Professional Engineer of Queensland (RPEQ) on every drawing and shall be to an appropriate electronic format and standard as required by Council's Infrastructure Services General Manager.

ENG 43 Provide "As Constructed" data for the following elements, where applicable:

- a) sewerage;
- b) earthwork; and
- c) stormwater drainage (if required).

*The approval is subject to construction being undertaken in accordance with the Approved Plans prepared by Griffin Civil Engineers as listed below:*

<b>Drawing No./ Revision/Sheet No.</b>	<b>Revision</b>	<b>Drawing/Plan Title</b>	<b>Date</b>
20-180-C101	B	LOCALITY PLAN & SHEET LIST	04/10/25
20-180-C102	B	GENERAL NOTES	04/10/25
20-180-C103	B	REFERENCE DRAWINGS	04/10/25
20-180-C104	B	EXISTING SITE PLAN	04/10/25
20-180-C201	B	INTERNAL ROAD LAYOUT PLAN	04/10/25
20-180-C202	B	INTERNAL ROAD SETOUT	04/10/25

20-180-C203	B	INTERNAL ROAD TYPE SECTIONS	04/10/25
20-180-C204	B	MANOUVERABILITY 1 OF 2	04/10/25
20-180-C205	B	MANOUVERABILITY 2 OF 2	04/10/25
20-180-C206	B	INTERNAL ROAD 1 LONGITUDINAL SECTION 1 OF 2	04/10/25
20-180-C207	B	INTERNAL ROAD 1 LONGITUDINAL SECTION 2 OF 2	04/10/25
20-180-C208	B	INTERNAL ROAD 2 LONGITUDINAL SECTION 1 OF 2	04/10/25
20-180-C209	B	INTERNAL ROAD 2 LONGITUDINAL SECTION 2 OF 2	04/10/25
20-180-C210	B	INTERNAL ROAD 3 LONGITUDINAL SECTION 1 OF 2	04/10/25
20-180-C211	B	INTERNAL ROAD 3 LONGITUDINAL SECTION 2 OF 2	04/10/25
20-180-C212	B	INTERNAL ROAD 4 LONGITUDINAL SECTION	04/10/25
20-180-C213	B	INTERNAL ROAD 1 CROSS SECTIONS	04/10/25
20-180-C214	B	INTERNAL ROAD 2 CROSS SECTIONS	04/10/25
20-180-C215	B	INTERNAL ROAD 3 CROSS SECTIONS	04/10/25
20-180-C301	B	EROSION CONTROL	04/10/25
20-180-C401	B	EARTHWORKS	04/10/25
20-180-C402	B	RETAINING WALL ELEVATIONS	04/10/25

#### REFERRAL AGENCIES

Not Applicable.

#### APPROVED PLANS

The following plans are Approved plans for the development:

##### Approved Plans

Plan No.	Rev.	Plan Name	Date
20-180-C101	B	LOCALITY PLAN & SHEET LIST, prepared by Griffin Civil Engineers	04/10/25
20-180-C102	B	GENERAL NOTES, prepared by Griffin Civil Engineers	04/10/25
20-180-C103	B	REFERENCE DRAWINGS, prepared by Griffin Civil Engineers	04/10/25
20-180-C104	B	EXISTING SITE PLAN, prepared by Griffin Civil Engineers	04/10/25
20-180-C201	B	INTERNAL ROAD LAYOUT PLAN, prepared by Griffin Civil Engineers	04/10/25
20-180-C202	B	INTERNAL ROAD SETOUT, prepared by Griffin Civil Engineers	04/10/25

20-180-C203	B	<i>INTERNAL ROAD TYPE SECTIONS</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C204	B	<i>MANOUVERABILITY 1 OF 2</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C205	B	<i>MANOUVERABILITY 2 OF 2</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C206	B	<i>INTERNAL ROAD 1 LONGITUDINAL SECTION 1 OF 2</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C207	B	<i>INTERNAL ROAD 1 LONGITUDINAL SECTION 2 OF 2</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C208	B	<i>INTERNAL ROAD 2 LONGITUDINAL SECTION 1 OF 2</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C209	B	<i>INTERNAL ROAD 2 LONGITUDINAL SECTION 2 OF 2</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C210	B	<i>INTERNAL ROAD 3 LONGITUDINAL SECTION 1 OF 2</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C211	B	<i>INTERNAL ROAD 3 LONGITUDINAL SECTION 2 OF 2</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C212	B	<i>INTERNAL ROAD 4 LONGITUDINAL SECTION</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C213	B	<i>INTERNAL ROAD 1 CROSS SECTIONS</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C214	B	<i>INTERNAL ROAD 2 CROSS SECTIONS</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C215	B	<i>INTERNAL ROAD 3 CROSS SECTIONS</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C301	B	<i>EROSION CONTROL</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C401	B	<i>EARTHWORKS</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C402	B	<i>RETAINING WALL ELEVATIONS</i> , prepared by Griffin Civil Engineers	04/10/25

## REFERENCED DOCUMENTS

Not Applicable.

## ADVISORY NOTES

The following notes are included for guidance and information purposes only and do not form part of the assessment manager conditions:

## ADVICE NOTES

The applicant be advised that:

- (a) This approval doesn't not extend to the water supply or sewer as proposed in the application drawings. Wastewater pipe work is considered to be Sanitary drainage design in accordance with *AS3500.2 Sanitary Plumbing and Drainage* and will require further plumbing and drainage permit from Council.
- (b) Internal pipe work for water supply to be designed in accordance with *AS3500.1 Water Services*, and approved as part of a future building application.

(c) The *Aboriginal Cultural Heritage Act 2003* (ACHA) is administered by the Department of Aboriginal and Torres Strait Islander and Multicultural Affairs (DATSIMA). The ACHA establishes a duty of care to take all reasonable and practicable measures to ensure any activity does not harm Aboriginal cultural heritage. This duty of care:

- i. is not negated by the issuing of this development approval;
- ii. applies on all land and water, including freehold land;
- iii. lies with the person or entity conducting an activity; and
- iv. if breached, is subject to criminal offence penalties.

Those proposing an activity involving surface disturbance beyond that which has already occurred at the proposed site must observe this duty of care. Details of how to fulfil this duty of care are outlined in the duty of care guidelines gazetted with the ACHA. The applicant should contact DATSIP's Cultural Heritage Co-ordination Unit on telephone (07) 3224 2070 for further information on the responsibilities of developers under the ACHA.

(d) The **relevant period** for the development approval (Operational Work) shall be **two (2) years** starting the day the approval is granted or takes effect. In accordance with Section 85(1)(c) of the *Planning Act 2016*, the development approval for Operational Work lapses if the development does not substantially start within the abovementioned **relevant period**.

An applicant may request Council to extend the **relevant period** provided that such request is made in accordance with Section 86 of *Planning Act 2016* and before the development approval lapses under Section 85 of the *Planning Act 2016*.

(e) Council is to be indemnified against any claims arising from works carried out by the applicant on Council's property.

(f) The relevant Planning Scheme for this Development Permit is the South Burnett Regional Council Planning Scheme 2017 v2.0. All references to the Planning Scheme and Schedules within these conditions refer to the above Planning Scheme.

#### **PROPERTY NOTES**

Not Applicable.

#### **VARIATION APPROVAL**

Not Applicable.

#### **FURTHER DEVELOPMENT PERMITS REQUIRED**

Not Applicable.

#### **SUBMISSIONS**

Not Applicable.

#### **RIGHTS OF APPEAL**

You are entitled to appeal against this decision. A copy of the relevant appeal provisions from the *Planning Act 2016* is attached.

During the appeal period, you as the applicant may suspend your appeal period and make written representations to council about the conditions contained within the development approval. If council agrees or agrees in part with the representations, a "negotiated decision notice" will be issued. Only one "negotiated decision notice" may be given. Taking this step will defer your appeal period, which will commence again from the start the day after you receive a "negotiated decision notice".

#### **OTHER DETAILS**

If you wish to obtain more information about Council's decision, electronic copies are available on line at [www.southburnett.qld.gov.au](http://www.southburnett.qld.gov.au), or at Council Offices.

Yours faithfully



**DAVID HURSTHOUSE  
COORDINATOR DEVELOPMENT SERVICES**

Enc:      Approved Plans  
            Appeal Rights

KINGSGROVE LIVING  
FOR GREENIDGE PTY LTD  
LOGAN ROAD KINGAROY

**PROJECT SITE**  
Lots 18A & 18B on P219380  
Lots 185, 210 & 211 on SP227675

Map showing the locality plan NTS. The project site is located in the lower-left quadrant of the map, bounded by First Avenue to the east, Main Street to the north, and a railway line to the west. The site is divided into several lots, some of which are shaded in green. A large green circle in the bottom-left corner represents a proposed development area. The map also shows various streets, including Argent Street, Silver Court, and Water Court, and several parks and open spaces. A legend in the bottom-left corner provides information on property boundaries, easements, and other features.

Sheet List

Sheet List	
Number	Title
C101	Locality Plan & Street List
C102	General Notes
C103	Reference Drawings
C104	Existing Site Plan
C105	Internal Road Layout Plan
C106	Internal Road Profile Sections
C107	Internal Road Type Sections
C108	Internal Road 1, Longitudinal Section 1 of 2
C109	Internal Road 2, Longitudinal Section 1 of 2
C110	Internal Road 3, Longitudinal Section 1 of 2
C111	Internal Road 4, Longitudinal Section 2 of 2
C112	Internal Road 4, Longitudinal Section 2 of 2
C113	Internal Road 2, Cross Sections
C114	Internal Road 2, Cross Sections
C115	Internal Road 3, Cross Sections
C101	Erosion Control
C401	Earthworks
C402	Retaining Wall Elevations
C501	Water Recirculation
C502	Water Analysis
C601	Sewerage Layout
C602	Sewerage Layout Section 1 of 3
C603	Sewerage Layout Section 2 of 3
C604	Sewerage Layout Section 3 of 3
C605	Logan St. S/S Segmentation
C701	Drainage Layout
C702	Drainage Layout
C703	Drainage Calculations 1 of 4
C704	Drainage Calculations 2 of 4
C705	Drainage Calculations 3 of 4
C706	Drainage Calculations 4 of 4
C707	Drainage Lateralized Sections 1 of 5
C708	Drainage Lateralized Sections 2 of 5
C709	Drainage Lateralized Sections 3 of 5
C710	Drainage Lateralized Section 4 of 5
C711	Drainage Lateralized Section 5 of 5

FOR APPROVAL - NOT FOR CONSTRUCTION

Document Set ID: 3397369

## GENERAL

1. Grass and topsoil shall be stripped to a minimum depth of 100mm over the entire site of the works.

2. Excavation shall be carried out where necessary to obtain subgrade level.

3. All excavated areas shall be compacted to 95% standard maximum dry density (AS1289.5 1.1).

4. Soil from the excavation and excavation shall be removed from the site.

5. Compaction test results and test locations for subgrades and in trenches testing shall be submitted to and approved by the Surveyor/Engineer prior to placing materials.

6. Testing of earthworks shall be at the contractor's expense.

7. Compaction tests are required for all service trenches and shall be carried out at the rate of one test per 50m of trench or part thereof.

8. All imported soil shall be free of contamination as defined under the Contaminated Land Act 1997. The contractor shall provide certification for all material to be used prior to incorporation into the project.

9. No allowance is been made for working areas necessary for construction surrounding the building platforms.

10. Use of salt water or brackish water in earthworks operations shall not be permitted.

11. All disturbed areas shall be reinstated with 75mm of topsoil and Sir Walter turf.

12. An approved tender shall be ratified at the rate of \$3g per 100m<sup>2</sup> shall be applied to all areas reinstated with turf or grass seeding.

13. Moving, watering and general maintenance of turf and grass shall be carried out by the contractor for three months after the issue of a certificate of practical completion.

**EROSION/SEDIMENT CONTROL**

1. Adjacent stormwater runoff to be diverted away from work site area.

2. Wash wells or spray unit may not be required during wet weather.

3. Woven fabrics as preferred, non-woven fabric may be used on small work sites; i.e. Operational paved areas less than 6 months, or on sites where significant runoff is not expected.

4. Sediment fences shall be located randomly across the construction.

5. Sediment fences are required 200m from the toe of cut or fill features. Where not practical, one fence can be at the toe, with a second fence 2m in from the toe. Fences shall not be located parallel to toe or face concentration of flow will occur below the fence.

6. A stabilization berm/shoulder area shall be provided adjacent to any field roads.

7. For drainage, erosion and sediment controls are to be installed and the operational before carrying up, along earthworks.

8. Control measures may be removed when on-site erosion is controlled and 10% permanent soil coverage is attained over all up-slope disturbed land.

9. All imports shall be cleaned and repair or replacement shall be made promptly as needed. Replace imports that are not reusable.

10. Imports shall be cleaned and repair or replacement shall be made promptly as needed. Replace imports that are not reusable.

**CONCRETE SURVEY**

1. Work to be in accordance with IP/AS/EG/05 Std Dg RS-051 - Heavy Duty Vehicle Crossing.

2. Do not place sand on top of base course materials to bring up to level to set out thickness.

3. Do not place sand or top of aggregate down to bring up to level to set out sub-bases.

4. Concrete shall be in accordance with the specification, unless otherwise directed.

5. Minimum content of cementitious material shall be 350kg/m<sup>3</sup>.

6. Maximum fly ash proportion as a percentage of cementitious material shall be 25% by weight.

7. Bulk lime/slag shall not be used.

Concrete shall have the following properties:

a. Strength grade shall be N22.

b. Slump shall be 80mm ± 15mm.

c. Maximum aggregate size shall be 20mm.

d. Maximum aggregate size shall be 20mm.

9. Concrete placement shall be carried for 7 days min. Prior to being opened for use. Cure by covering with dry polyethylene sheeting.

10. Support frames to allow joints shall consist of 100 mm Cx. With M12 longitudinal bars. Tie all bar, chairs are dowels in place with bar wire.

11. Expansion jointing material shall be an approved non extruding material with a high recovery after compression.

12. Blumen mypergel fibeweb shall be an approved non extruding fibeweb with the blumen content fully bonded.

13. Sealants shall be directed to the sites shown on the drawing and in accordance with the sealant details.

**EARTHWORKS**

1. All dimensions and levels in drawings are in metres unless otherwise specified.

2. All dimensions and levels in drawings are in metres unless otherwise specified.

3. All levels to A.D.L Level datum PMS178009. R.L=35.56.

4. The contractor shall verify the location and depth of all existing services prior to commencement of the work.

All existing services and structures shall be maintained in good order for the duration of the works.

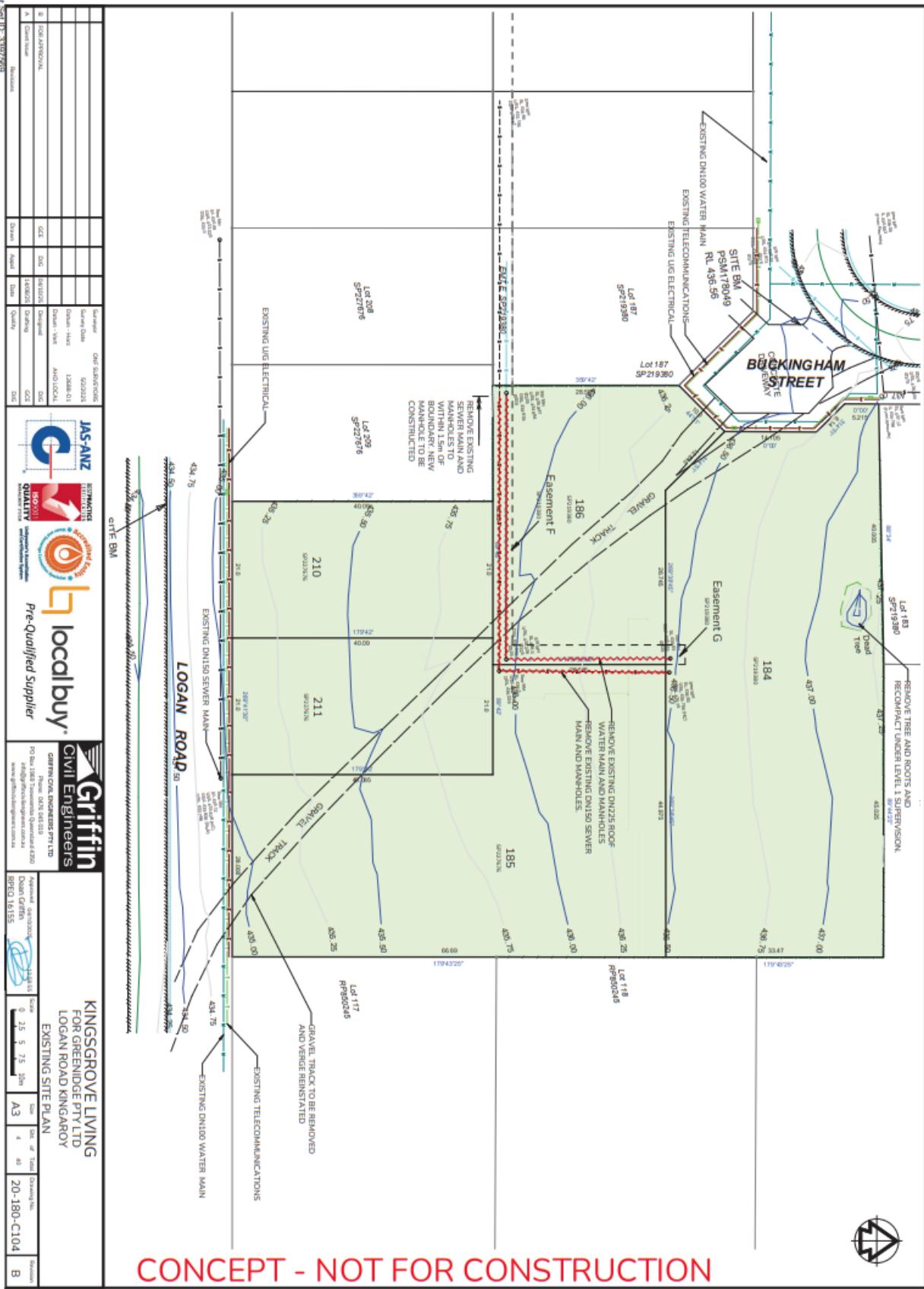
## SEWERAGE

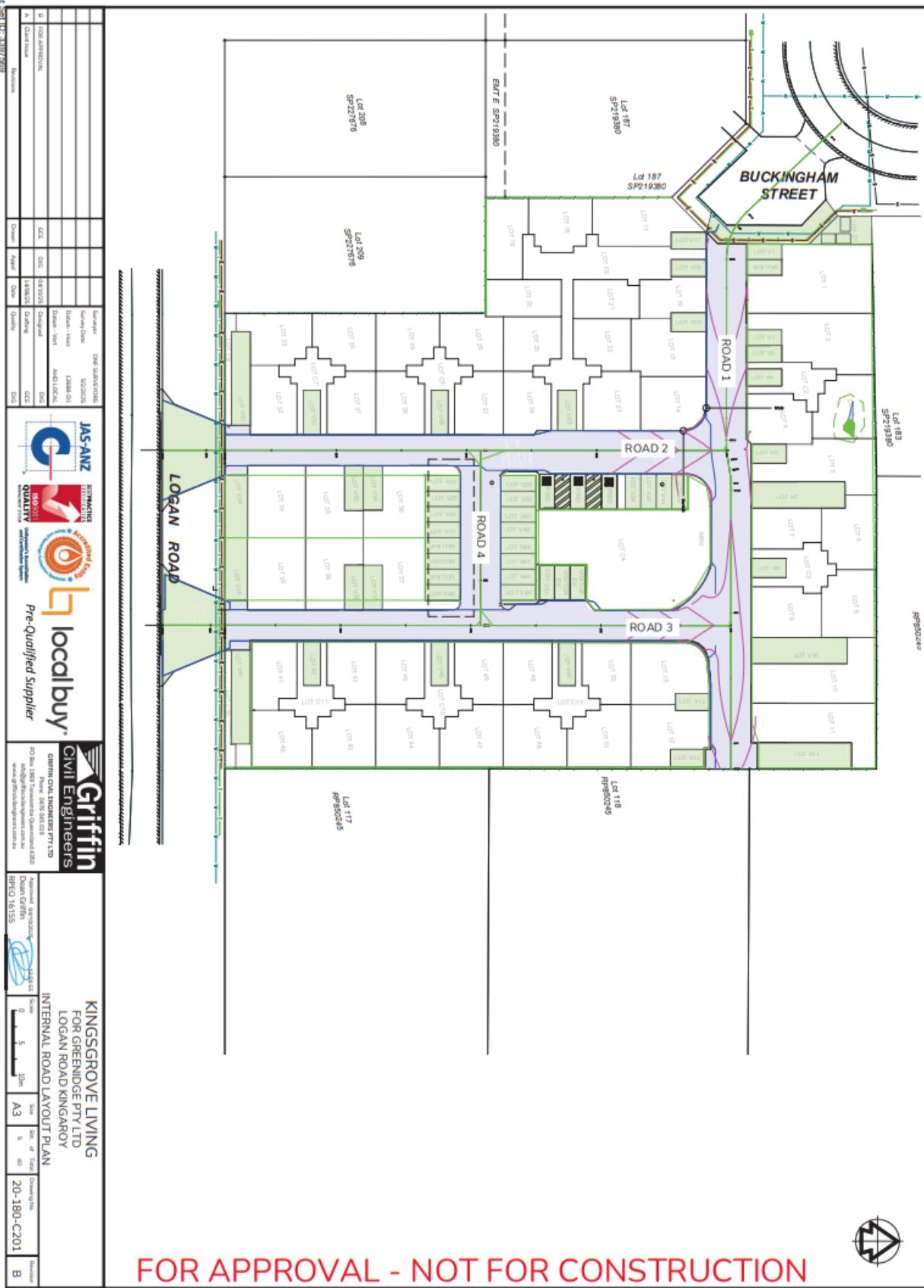
1. All materials and works to be in accordance with WBBW A specifications.

Description	Start Date	End Date	Duration	Unit	Quantity
Supply and install DN150 sewer main complete.				m	355
Supply and install Sewer Maintenance Shaft, complete				m	6
Supply and install Sewer Property Connections, complete				m	18
Supply and install Sewer Ring main, complete				m	52
Supply and install SPS Additional Emergency Storage, complete				m	7
Supply and construct new driveway crossings [3 off], complete				m	1
Supply and construct new concrete parking bays, complete				m2	292
Supply and construct internal asphalt roads, complete				m2	4017
Supply and construct mountable kerbs, complete				m2	1469
Supply and construct central invert, complete				m	477
Supply and construct signage and lettermarking, complete.				m	1
Supply and install DN100 DCL water main, complete				m	499
Supply and install DN100 PVC-O water mains, complete.				m	105
Supply and install DN100 fire mains, complete.				m	87
Supply and install DN200 Water services & meters, complete.				m	52
Supply and install DN300 drainage pipework, complete.				m	504
Supply and install DN150 Drainage Maintenance Holes, complete				m	6
Supply and install 600,600 Grated Drainage Pits, complete				m	11
Supply and install 600,600 Grated Drainage Pits, complete				m	13
Supply and install 7200,3000 Gated Drains, complete				m	2
Supply and install deflection structures, complete.				m2	

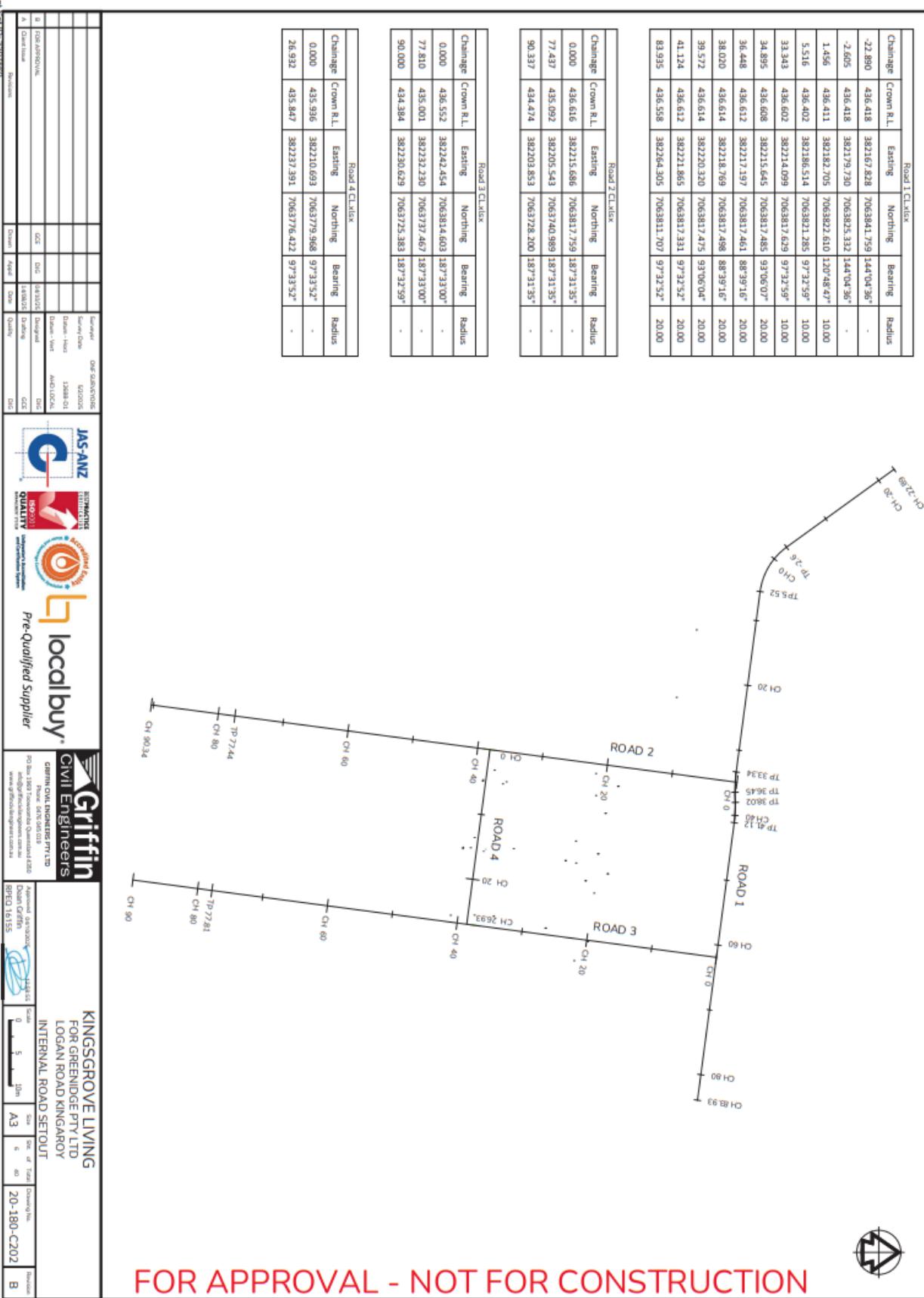
FOR APPROVAL - NOT FOR CONSTRUCTION

WBWUWA_Sewer Drawings		IPWEA Drawings	
PIPELINE LAYOUT		ACCES CHAMBER	
SEW-1-103 TYPICAL ARRANGEMENTS		STORMWATER ACCESS CHAMBER DETAIL - 1050 TO 2100 DIA	
EMBEDMENT, TRENCHELL AND SUPPORT SYSTEMS		DS-010 DIA	
SEW-1-200 ALLOWABLE BEARING PRESSURES FOR BULKHEADS		DS-018 MANHOLE RISER DETAILS (ROADWAY)	
SEW-1-201 TYPICAL ARRANGEMENTS		DS-019 MANHOLE COVER (ROADWAY) 1050 TO 2100 DIA	
SEW-1-202 FLEXIBLE AND RIGID PIPES		DS-020 MANHOLE COVER (NON-ROADWAY) 1050 TO 2100 DIA	
ACCESS STRUCTURES		DS-021 MANHOLE COVER CONCRETE INFLL (P/DESTRAN TRAFFIC) 1050 TO 2100 DIA	
SEW-1-300 SEWERS x DN 300 PRECAST TIRES P1 & P2		DS-022 FIELD INLET - TYPE 1 AND TYPE 2	
SEW-1-302 PIPE CONNECTION DETAILS		DS-023 KERB INLET - KERB IN LINE - GENERAL ARRANGEMENT	
SEW-1-303 SEWERS x DN 300 CHANGES IN LEVEL DETAILS		DS-024 KERB INLET - PRECAST INLET DETAILS	
SEW-1-308 TYPICAL MH COVER ARRANGEMENTS		DS-025 KERB INLET - GRATE AND FRAME	
WBBUWA_Water Drawings		DS-026 KERB INLET - LIP IN LINE - GENERAL ARRANGEMENT	
PIPELINE LAYOUT		DS-027 CULVERT INLET SCREEN	
WAT-1-102 RECULATION MAIN ARRANGEMENTS		DS-028 DRIVEWAYS	
WAT-1-103 DISTRIBUTION AND TRANSFER MAINS		DS-029 HEAVY DUTY DRIVEWAYS	
WAT-1-105 CONNECTION TO EXISTING MAINS		RS-065 PATHWAYS	
WAT-1-108 PROPERTY SERVICES		RS-066 CONCRETE PATHWAY - CONSTRUCTION DETAILS	
EMBEDMENT, TRENCHELL AND RESTRAINTS		RS-067 KERB/TAMPS	
WAT-1-200 SOIL CLASSIFICATION GUIDELINES		RS-068 RAMPED PEDESTRIAN CROSSINGS	
WAT-1-201 EMBEDMENT AND TRENCHELL		RS-069 ROAD FURNITURE	
WAT-1-202 STANDARD EMBEDMENT		RS-070 STREET NAME SIGN AND LOCATION (FINGERBOARD)	
WAT-1-205 THRUST BLOCK DETAILS - CONCRETE BLOCKS		RS-071 ROAD FURNITURE, TRAFFIC SIGN INSTALLATION DETAILS	
WAT-1-206 THRUST BLOCK DETAILS - TIMBER & RECYCLED PLASTIC BLOCKS		RS-072 BUS STOP	
WAT-1-207 THRUST AND ANCHOR BLOCK - GATE VALVES AND VERTICAL BENDS		RS-073 DETAILS AND LOCATION	
WAT-1-208 TRENCH-DETAIL, BULKHEADS AND TRENCH-STOP		RS-074 ACCESS POINTS	
WAT-1-209 INSTALLATION FREQUENCIES, STRUCTURES		RS-075 PAVEMENT EXTENSION	
WAT-1-301 VALVE ARRANGEMENT		RS-076 TRENCHING AND WIDENING	
WAT-1-302 HYDRANT AND AIR RELIEF VALVES		RS-077	
WAT-1-303 GATE VALVE SURFACE BOXES NON TRAFFICABLE		RS-078	
WAT-1-304 GATE VALVE SURFACE BOXES TRAFFICABLE		RS-079	
WAT-1-305 HYDRANT SURFACE BOXES TRAFFICABLE		RS-080	
WAT-1-306 HYDRANT SURFACE BOXES TRAFFICABLE		RS-081	
WAT-1-307		RS-082	
WAT-1-308		RS-083	
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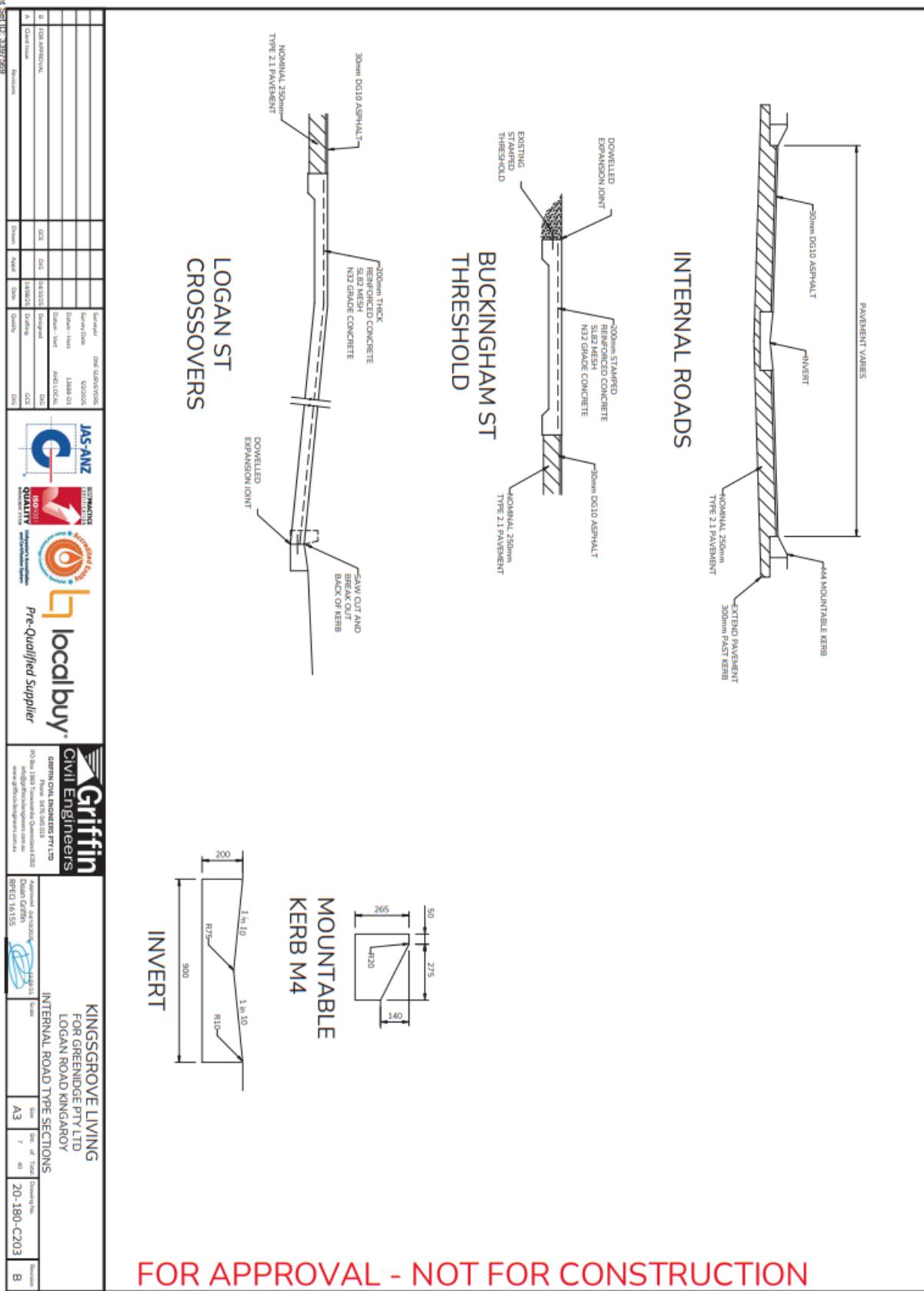




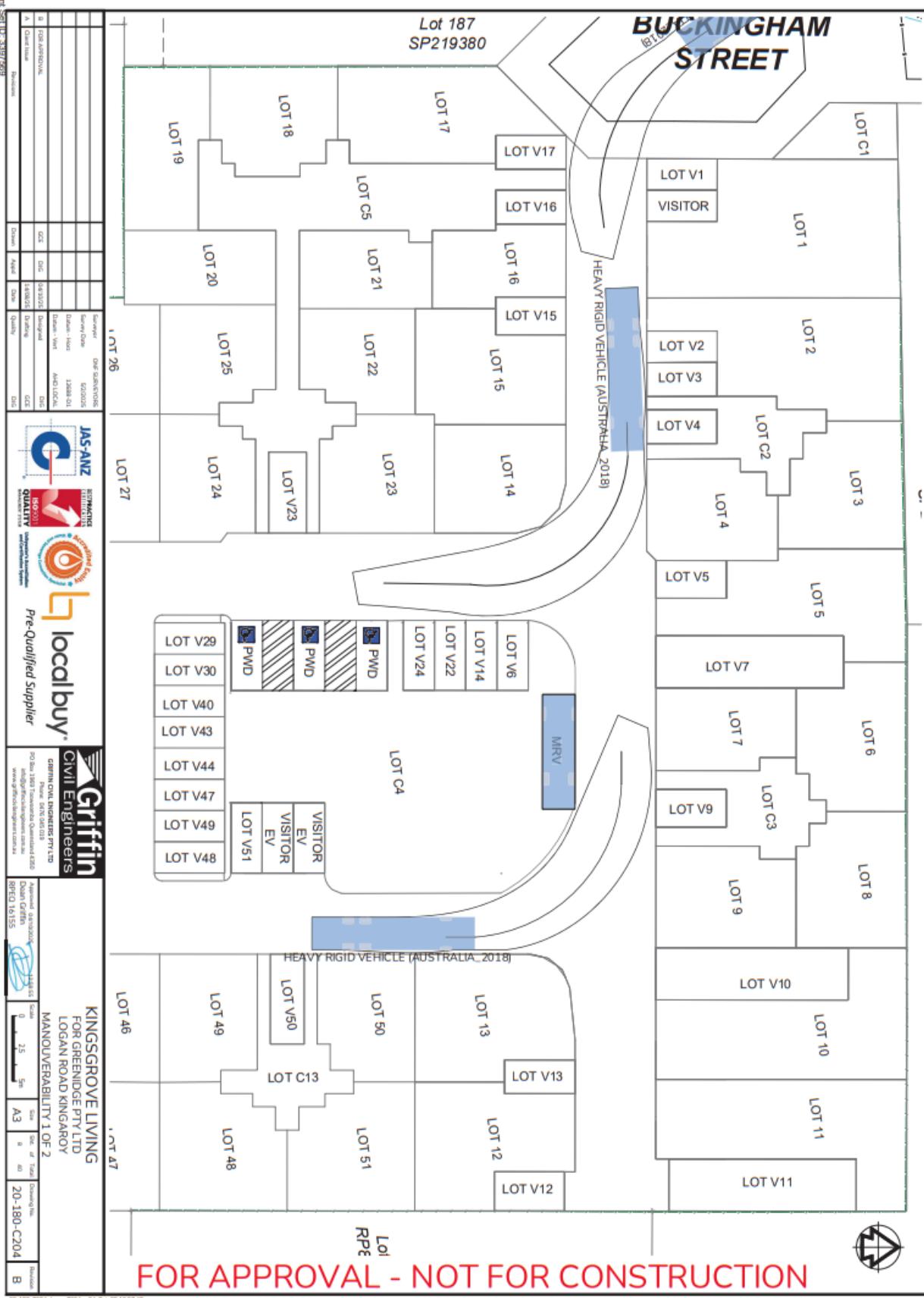
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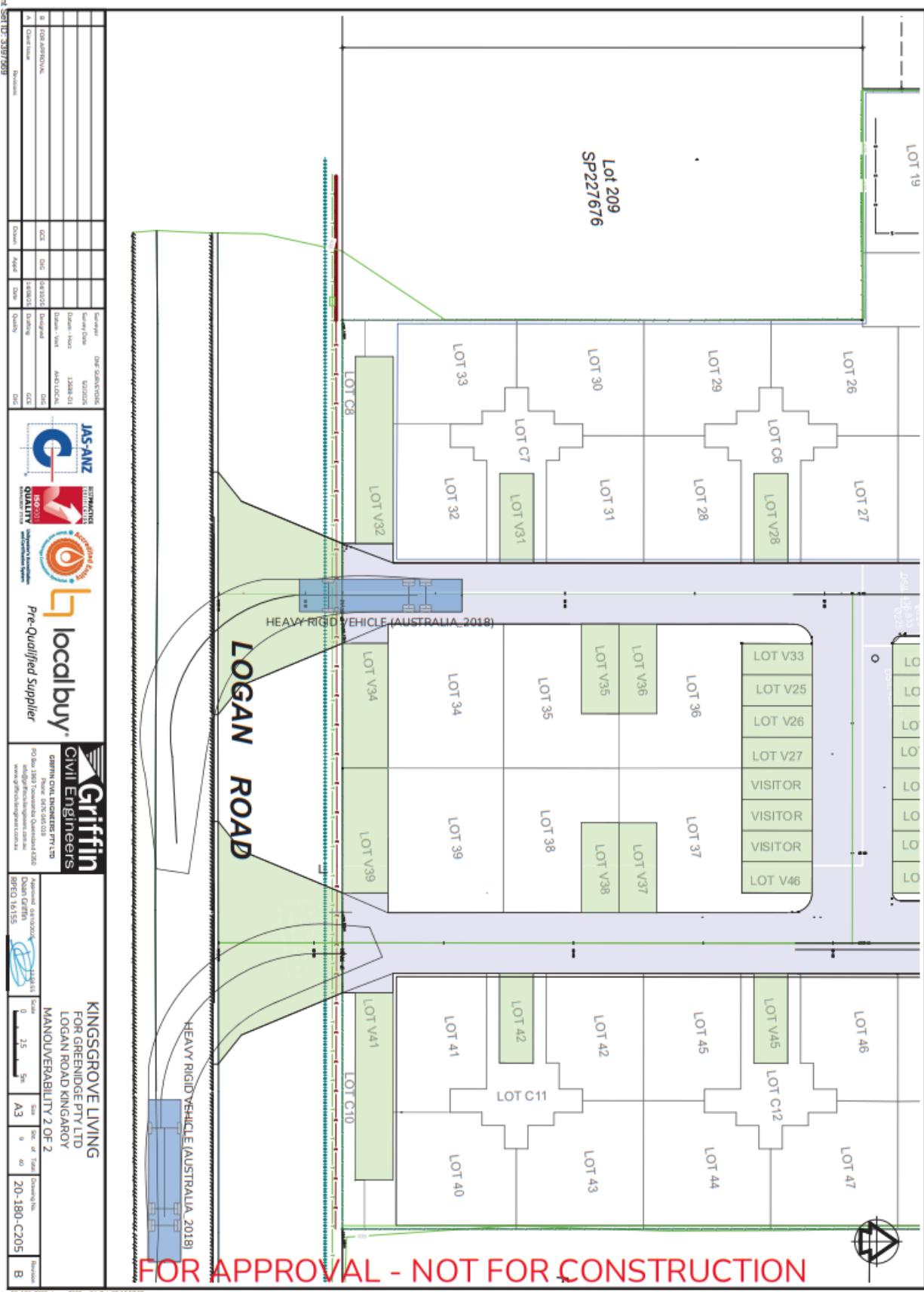


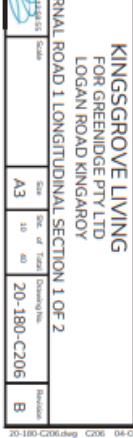
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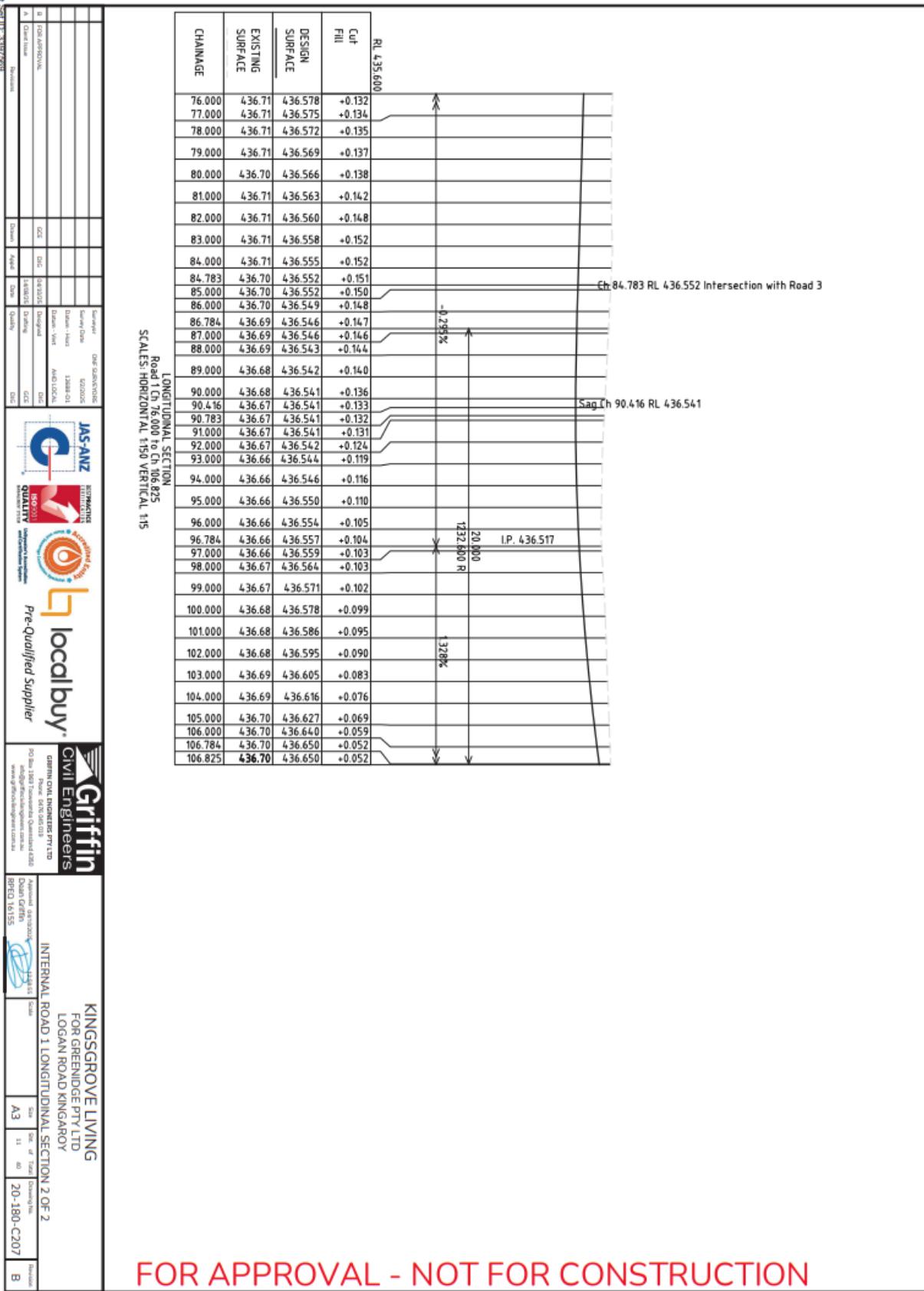
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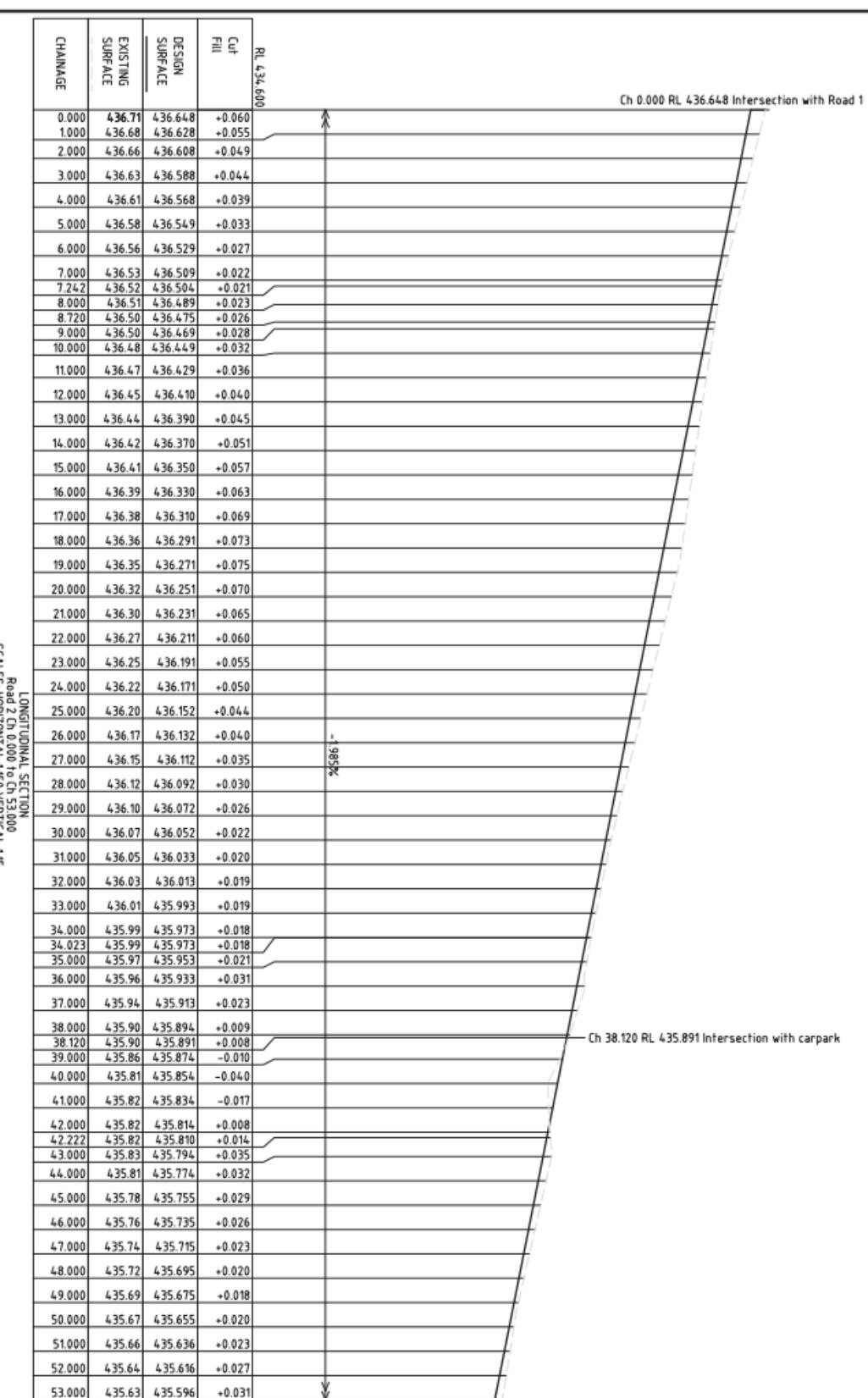
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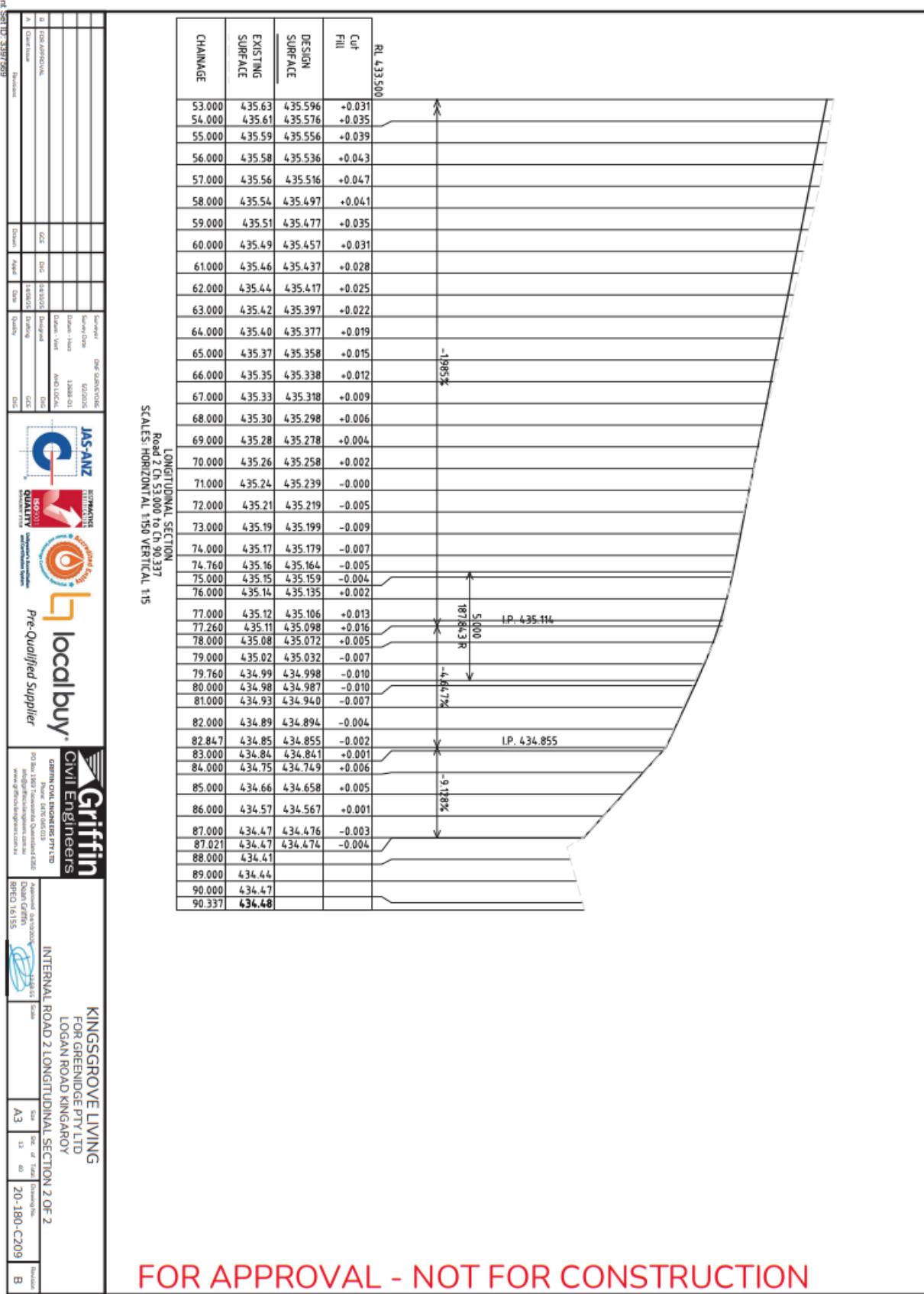


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Surveyor Details			
Surveyor Name	LocalBuy	Surveyor Date	06/02/2025
Address	16988 Old Logan Road, Logan, QLD 4133	Address Type	Actual Address
Phone	07 3200 1234	Phone Type	Actual Phone
Email	info@localbuy.com.au	Email Type	Actual Email

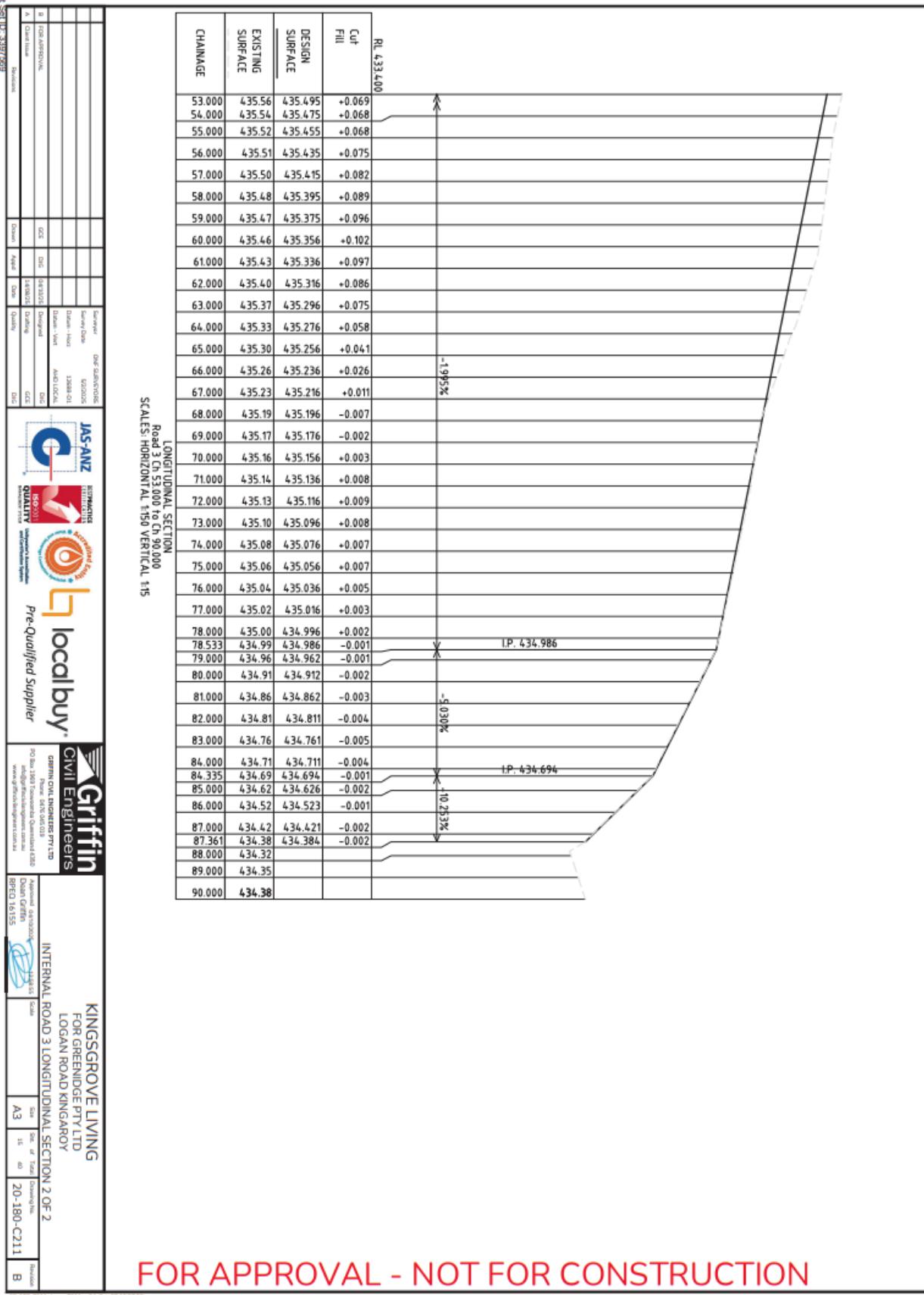
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Version: 1, Version Date: 10/12/2025



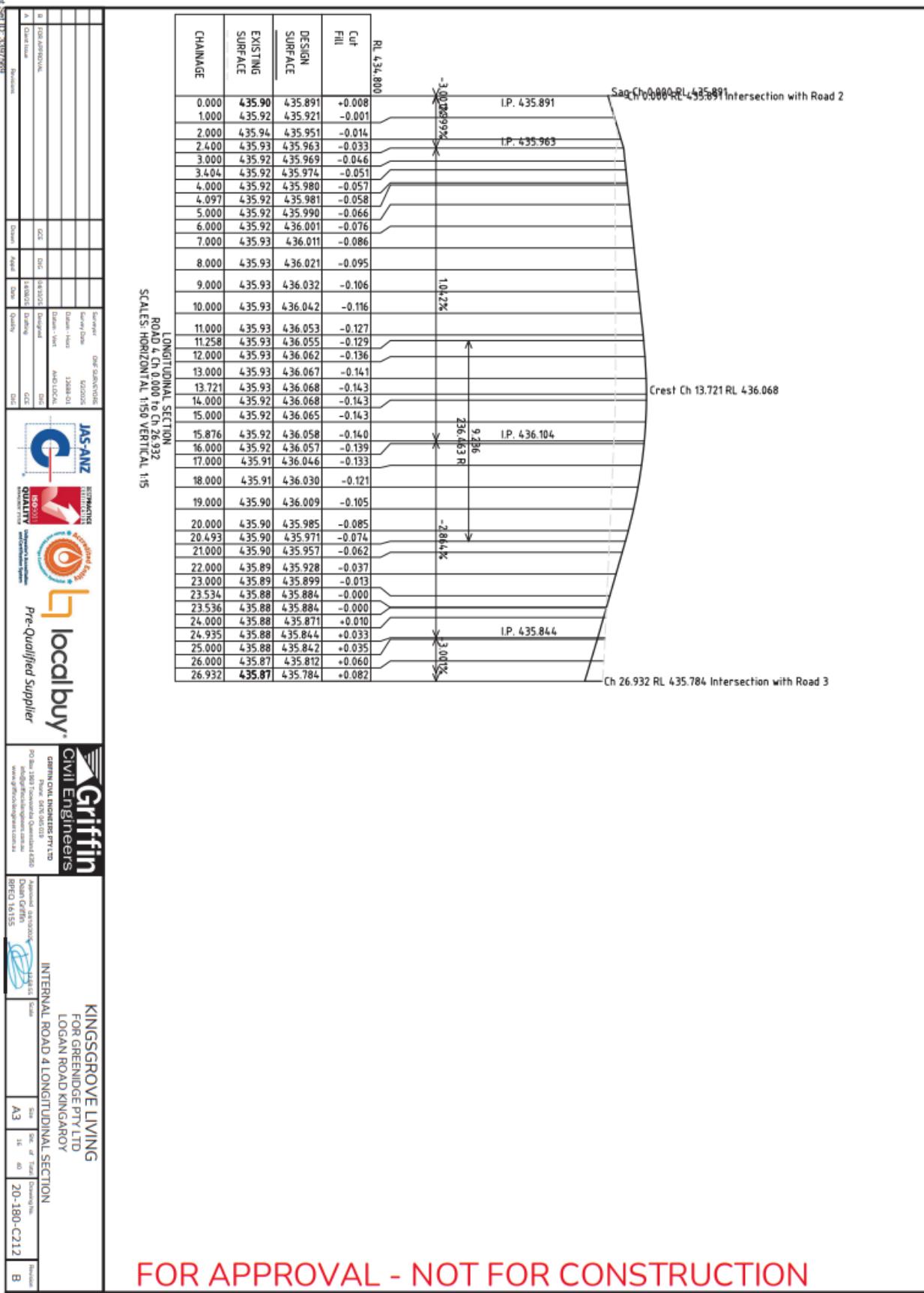


CHAINAGE	RL 434.500			Ch 0.000 RL 436.552 Intersection with Road 1		
	DESIGN SURFACE	CUT/FILL	RL 434.500	DESIGN SURFACE	CUT/FILL	RL 434.500
0.000	436.70	436.552	+0.151			
1.000	436.69	436.532	+0.153			
2.000	436.67	436.512	+0.156			
3.000	436.65	436.492	+0.159			
4.000	436.63	436.472	+0.161			
5.000	436.62	436.453	+0.163			
6.000	436.60	436.433	+0.166			
7.000	436.59	436.413	+0.172			
7.385	436.58	436.405	+0.171			
8.000	436.56	436.393	+0.167			
9.000	436.54	436.373	+0.163			
10.000	436.51	436.353	+0.158			
11.000	436.49	436.333	+0.153			
12.000	436.46	436.313	+0.148			
13.000	436.44	436.293	+0.143			
13.346	436.43	436.286	+0.142			
14.000	436.41	436.273	+0.139			
15.000	436.39	436.253	+0.134			
16.000	436.36	436.233	+0.129			
17.000	436.34	436.213	+0.124			
18.000	436.31	436.193	+0.119			
19.000	436.28	436.173	+0.112			
20.000	436.26	436.153	+0.104			
21.000	436.23	436.133	+0.097			
22.000	436.20	436.113	+0.089			
23.000	436.17	436.094	+0.080			
24.000	436.15	436.074	+0.073			
25.000	436.12	436.054	+0.065			
26.000	436.09	436.034	+0.057			
27.000	436.06	436.014	+0.050			
28.000	436.04	435.994	+0.044			
29.000	436.02	435.974	+0.048			
30.000	436.01	435.954	+0.053			
31.000	435.99	435.934	+0.057			
32.000	435.98	435.914	+0.061			
33.000	435.96	435.894	+0.066			
34.000	435.94	435.874	+0.070			
34.414	435.94	435.866	+0.071			
35.000	435.93	435.854	+0.074			
36.000	435.91	435.834	+0.078			
37.000	435.90	435.814	+0.082			
38.000	435.88	435.794	+0.083			
38.515	435.87	435.784	+0.082			
39.000	435.86	435.774	+0.082			
40.000	435.84	435.754	+0.082			
41.000	435.81	435.734	+0.081			
42.000	435.79	435.715	+0.079			
42.614	435.78	435.702	+0.080			
43.000	435.77	435.695	+0.079			
44.000	435.75	435.675	+0.078			
45.000	435.73	435.655	+0.077			
46.000	435.71	435.635	+0.077			
47.000	435.69	435.615	+0.076			
48.000	435.67	435.595	+0.075			
49.000	435.65	435.575	+0.074			
50.000	435.63	435.555	+0.073			
51.000	435.61	435.535	+0.071			
52.000	435.59	435.515	+0.070			
53.000	435.56	435.495	+0.069			

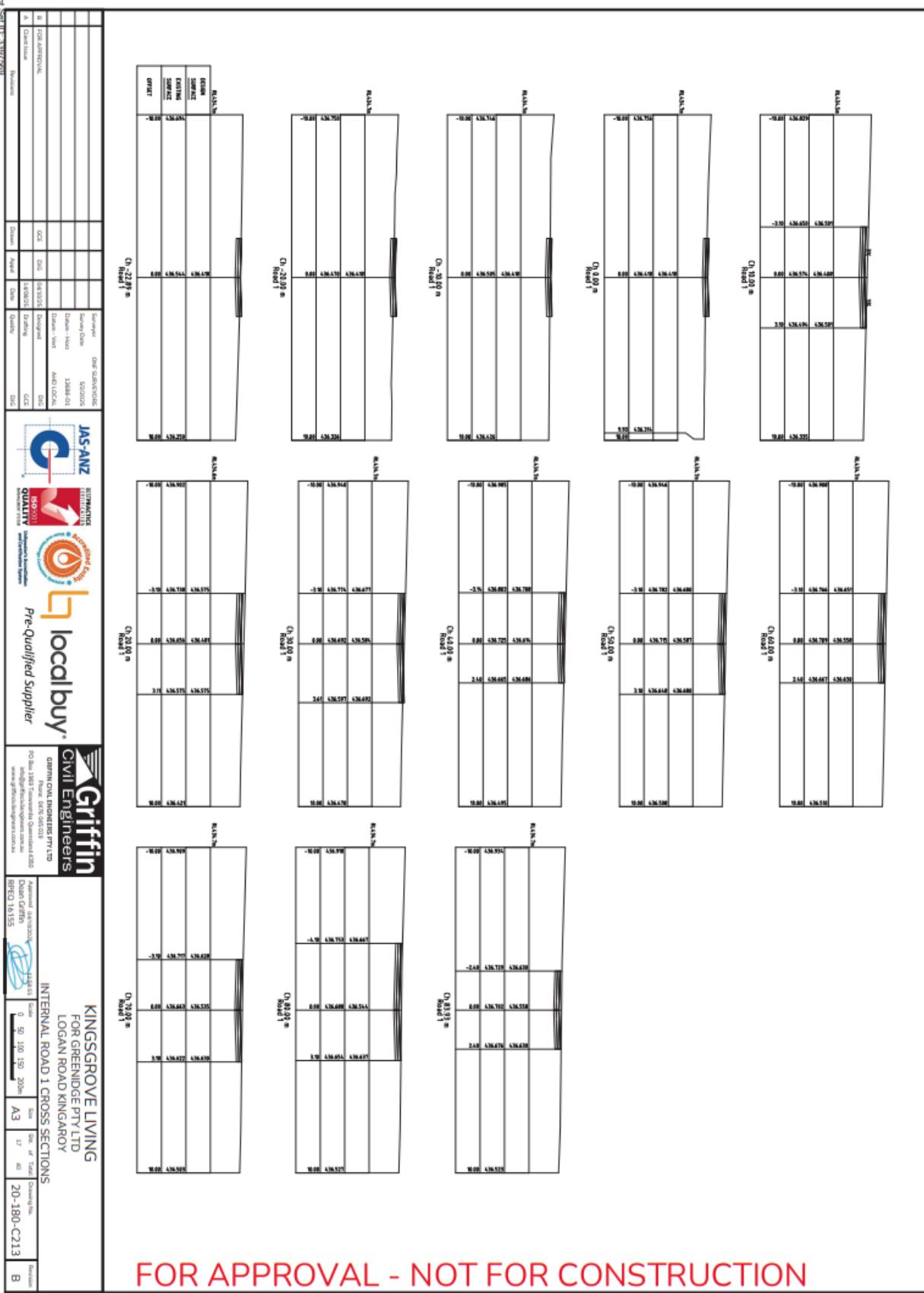
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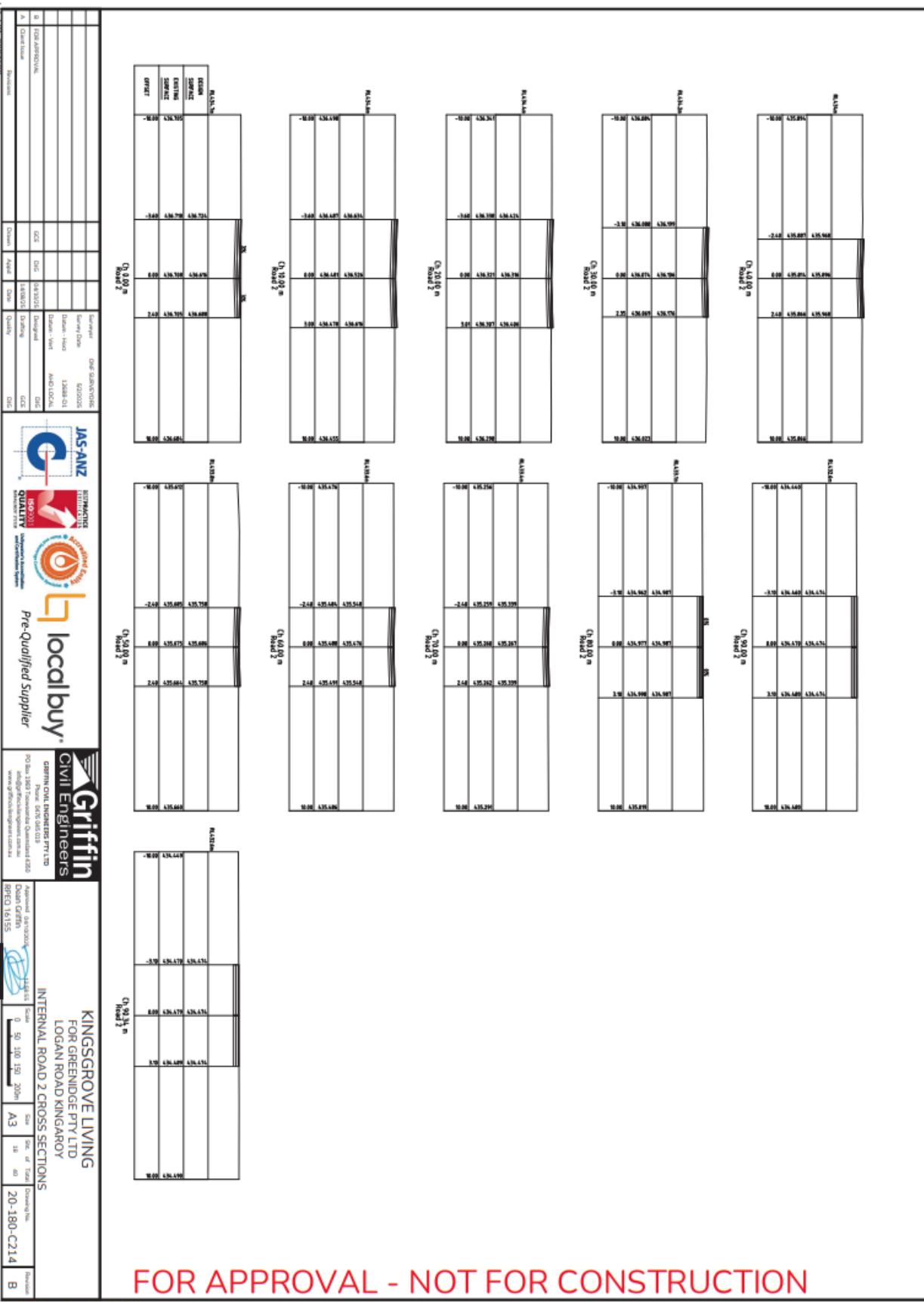
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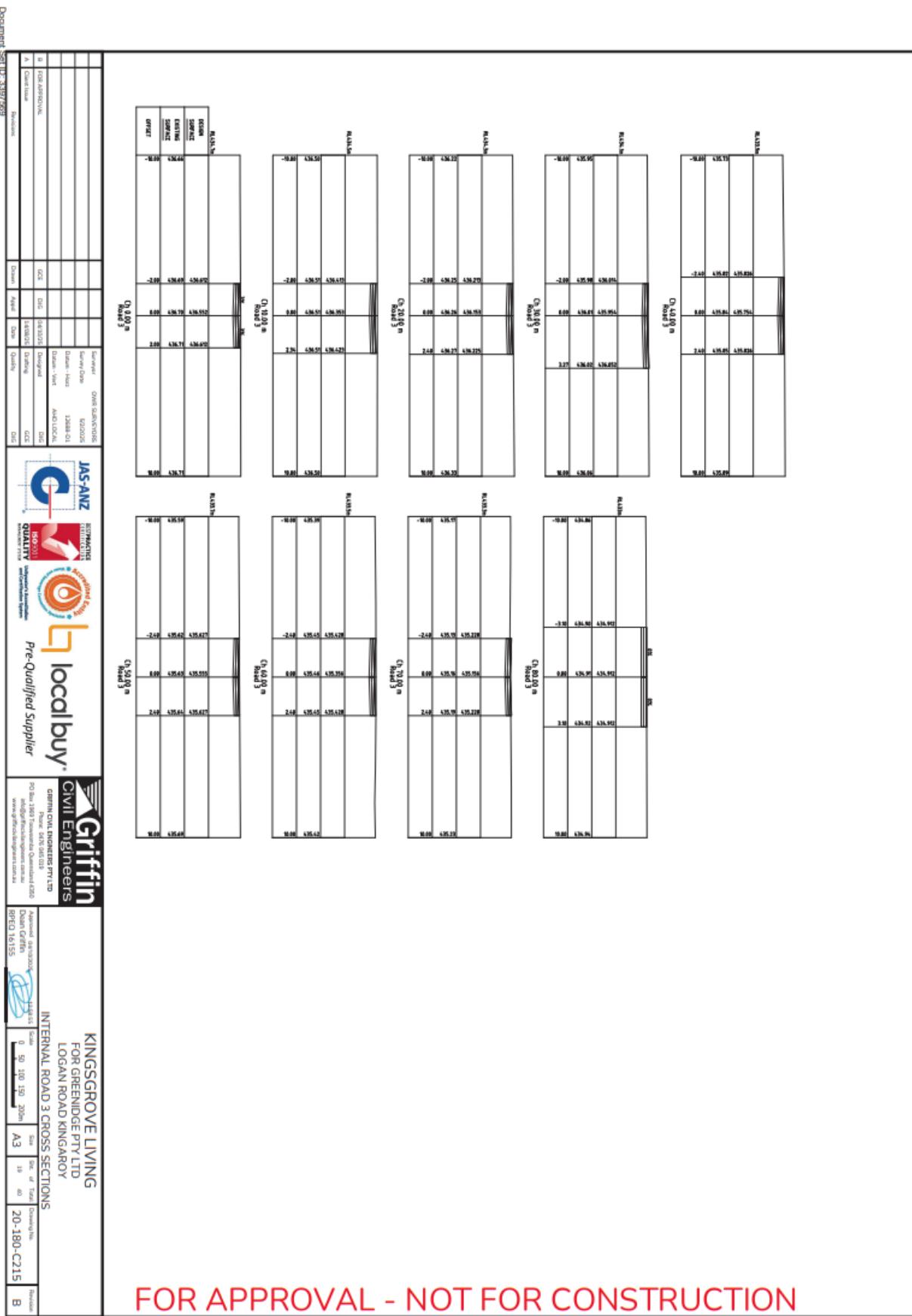
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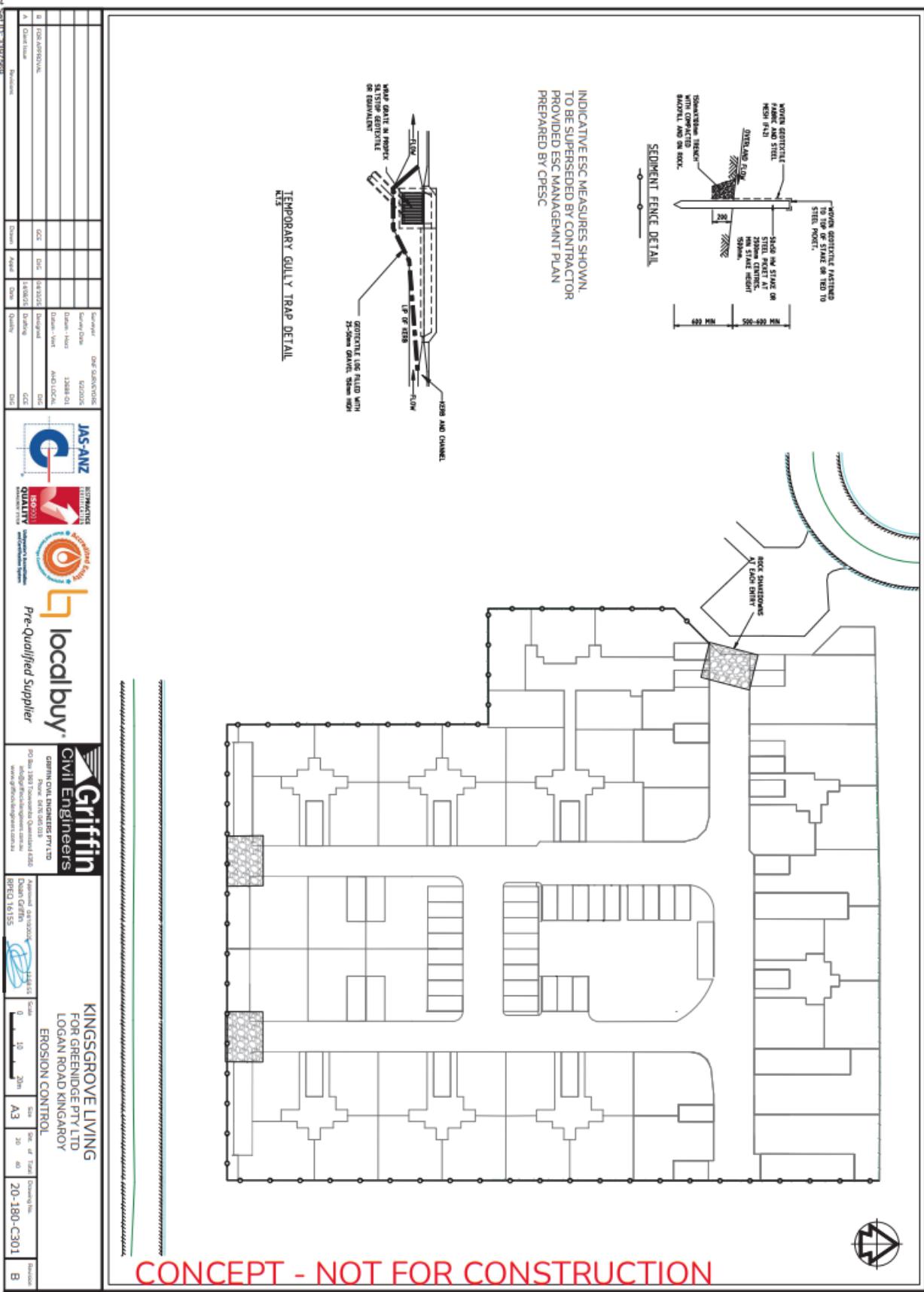
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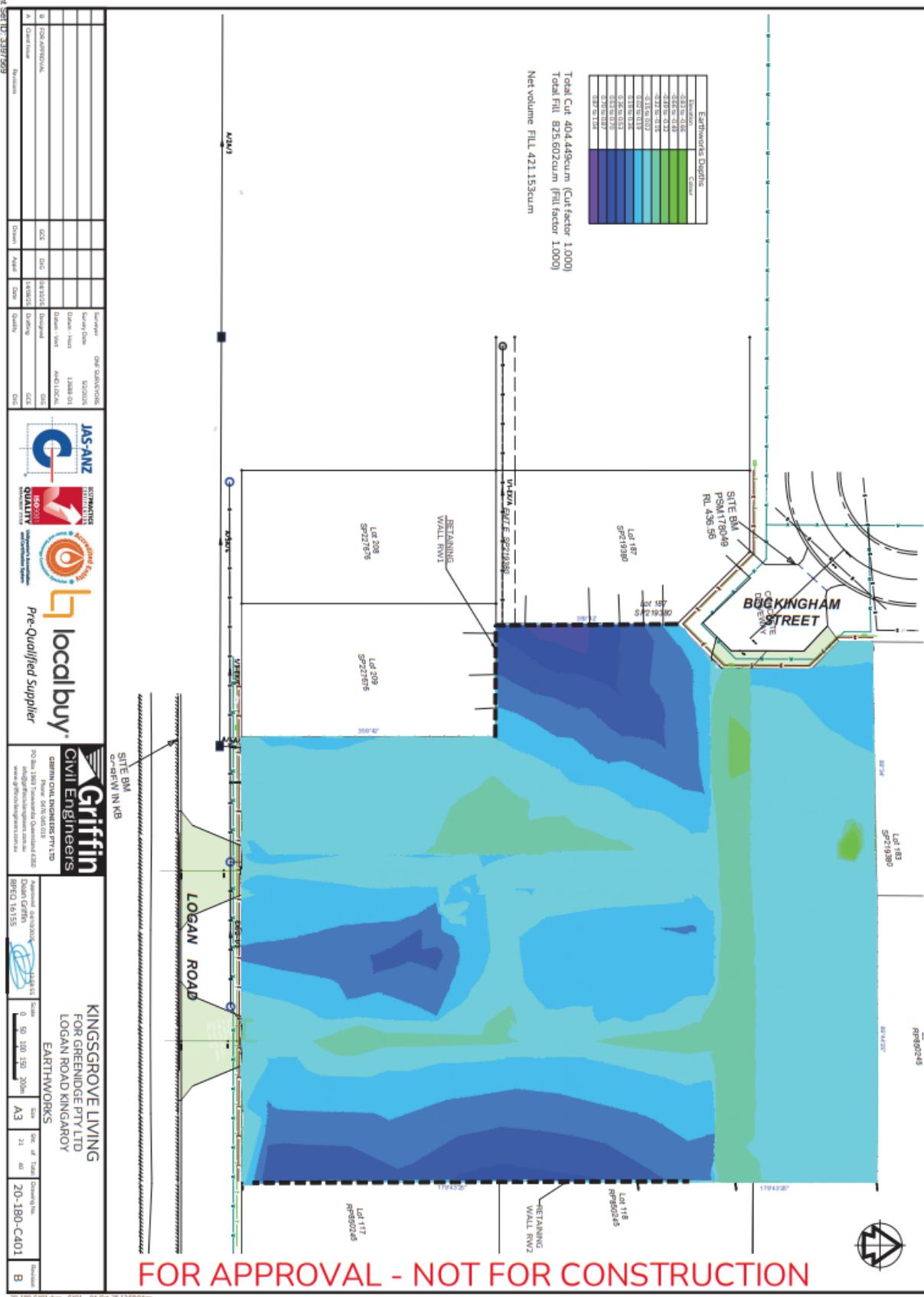


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FOR APPROVAL - NOT FOR CONSTRUCTION





POSTS TO BE SUNK DEEPER EITHER SIDE OF SERVICE CROSSINGS. NO SERVICE SHALL HAVE ANY LOAD PLACED ON OR INFERRED BY THE WALL STRUCTURE.

200mm CONCRETE SLEEPER RETAINING WALL FINAL DESIGN TO BE SUPPLIED BY RETAINING WALL CONTRACTOR.

200mm CONCRETE SLEEPER RETAINING WALL FINAL DESIGN TO BE SUPPLIED BY RETAINING WALL CONTRACTOR.

POST SPACINGS TO BE DETERMINED ON SITE AFTER SEWER IS IN PLACE.

**KINGSGROVE LIVING FOR GREENIDGE PTY LTD LOGAN ROAD KINGAROY**

**RETAINING WALL ELEVATIONS**

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# Appeal Rights

PLANNING ACT 2016 & THE PLANNING REGULATION 2017

## Chapter 6 Dispute resolution

### Part 1 Appeal rights

#### 229 Appeals to tribunal or P&E Court

(1) Schedule 1 of the *Planning Act 2016* states –

- (a) Matters that may be appealed to –
  - (i) either a tribunal or the P&E Court; or
  - (ii) only a tribunal; or
  - (iii) only the P&E Court; and
- (b) The person –
  - (i) who may appeal a matter (**the appellant**); and
  - (ii) who is a respondent in an appeal of the matter; and
  - (iii) who is a co-respondent in an appeal of the matter; and
  - (iv) who may elect to be a co-respondent in an appeal of the matter.

(Refer to Schedule 1 of the *Planning Act 2016*)

(2) An appellant may start an appeal within the appeal period.

(3) The **appeal period** is –

- (a) for an appeal by a building advisory agency – 10 business days after a decision notice for the decision is given to the agency; or
- (b) for an appeal against a deemed refusal – at any time after the deemed refusal happens; or
- (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises – 20 business days after a notice is published under section 269(3)(a) or (4); or
- (d) for an appeal against an infrastructure charges notice – 20 business days after the infrastructure charges notice is given to the person; or
- (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given – 30 business days after the applicant gives the deemed approval notice to the assessment manager; or
- (f) for any other appeal – 20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

*Note –*

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.
- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt. It is declared that an appeal against an infrastructure charges notice must not be about –
  - (a) the adopted charge itself; or
  - (b) for a decision about an offset or refund –
    - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
    - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

#### 230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that –
  - (a) is in the approved form; and
  - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar must, within the service period, give a copy of the notice of appeal to –
  - (a) the respondent for the appeal; and
  - (b) each co-respondent for the appeal; and

- (c) for an appeal about a development application under schedule 1, table 1, item 1 – each principal submitter for the development application; and
- (d) for an appeal about a change application under schedule 1, table 1, item 2 – each principal submitter for the change application; and
- (e) each person who may elect to become a co-respondent for the appeal, other than an eligible submitter who is not a principal submitter in an appeal under paragraph (c) or (d); and
- (f) for an appeal to the P&E Court – the chief executive; and
- (g) for an appeal to a tribunal under another Act – any other person who the registrar considers appropriate.

(4) The *service period* is –

- (a) if a submitter or advice agency started the appeal in the P&E Court – 2 business days after the appeal has started; or
- (b) otherwise – 10 business days after the appeal is started.

(5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).

(6) A person elects to be a co-respondent by filing a notice of election, in the approved form, within 10 business days after the notice of appeal is given to the person.

#### 231 Other appeals

- (1) Subject to this chapter, schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.
- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section –  
*decision* includes –
  - (a) conduct engaged in for the purpose of making a decision; and
  - (b) other conduct that relates to the making of a decision; and
  - (c) the making of a decision or failure to make a decision; and
  - (d) a purported decision; and
  - (e) a deemed refusal.*non-appealable*, for a decision or matter, means the decision or matter –
  - (a) is final and conclusive; and
  - (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, a tribunal or another entity; and
  - (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, a tribunal or another entity on any ground.

#### 232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal. However, the P&E Court may hear and decide an appeal even if the person has not complied with the rules of the P&E Court.