

Officer: Development Engineer - Basanta  
Direct Telephone: 07 4189 9100  
Our Reference: OPW25/0019

6 January 2026

The Planning Place  
7/273 Abbotsford Road  
BOWEN HILLS QLD 4006

Dear Sir/Madam

## Decision Notice

### Planning Act 2016

I refer to your application and advise that on 24 December 2025, Council's Delegated Authority decided to approve the application in full subject to conditions.

Details of the decision are as follows:

#### APPLICATION DETAILS

Application No: OPW25/0019  
Street Address: 73 & 75 Buckingham Street and 48, 50 & 52 Logan Street  
KINGARROY  
Real Property Description: Lot 184 & 186 on SP219380 and 185, 210 & 211 on  
SP227676  
Planning Scheme: South Burnett Regional Council

#### DECISION DETAILS

Type of Decision: Approval  
Type of Approval: Development Permit Operational Work Road Works (Internal),  
Stormwater, and Earthworks  
Date of Decision: 24 December 2025

#### CURRENCY PERIOD OF APPROVAL

The currency period for this development approval is 2 years starting the day that this development approval takes effect. (Refer to Section 85 "Lapsing of approval at end of currency period" of the *Planning Act 2016*.)

#### INFRASTRUCTURE

Not Applicable.

## ASSESSMENT MANAGER CONDITIONS

- ENG 1 Compliance with the plans approved by Council and specifications submitted with Development Application OPW25/0019 approval conditions, all Council Planning Scheme Policies.
- ENG 2 This approval extends to Road Work (Internal), Stormwater, Earthworks as detailed, and is conditional upon a set of "Issued for Construction" drawings, amended if required by the conditions of this approval, being submitted to Council for endorsement, prior to pre-start meeting.
- ENG 3 Any infrastructure required to be constructed under this application is "non-trunk" infrastructure, and imposed pursuant to Section 145 of the *Planning Act 2016*.
- ENG 4 Undertake all approved works and works required by conditions of this development approval at no cost to Council.
- ENG 5 Submit to Council for approval, an Inspection and Test Plan certified by a suitably qualified Engineer (RPEQ – Civil) prior to commencement of any work and prior to any pre-start meeting.
- ENG 6 Pay to Council, inspection fees based on Council's Fees and Charges current at the time of commencement of works and based on the estimated project cost as estimated or accepted by Council prior to the pre-start meeting.
- ENG 7 Adhere to the following hours of construction unless otherwise approved in writing by Council:

Monday to Saturday:	6.30am to 6.30pm	Noise permitted
Monday to Sunday:	6.30pm to 6.30am	No noise permitted
Sunday and Public Holidays:		No noise permitted

Do not conduct work or business that causes audible noise from or on the site outside the above hours.

- ENG 8 Be responsible to carry out Work Health and Safety legislative requirements.
- ENG 9 Ensure all work sites are maintained in a clean, orderly state at all times.
- ENG 10 Manage all waste in accordance with the relevant legislation and regulations and dispose of regulated waste at a licensed facility of South Burnett Regional Council by a licensed regulated waste disposal contractor.
- ENG 11 Be responsible for the location and protection of any Council and public utility services infrastructure and assets that may be impacted on during construction of the development.
- ENG 12 Repair all damages incurred to Council and public utility services infrastructure and assets, as a result of the proposed development, immediately should hazards exist for public health and safety or vehicular safety. Otherwise, repair all damage immediately upon completion of works associated with the development.

ENG 13 Submit to Council, a Certification from a suitably qualified Engineer (RPEQ) that the works have been undertaken in accordance with the approved plans and specifications and to Council's requirements, commencement of the use.

## **STORMWATER**

ENG 14 Submit to Council for an approval, a Stormwater Management Plan (SMP) certified by a RPEQ civil engineer, as required by condition ENG 13 of the Minor Change to an Existing Approval Council Reference: MCU25/0030 dated 03/11/2025, detailing:

- (a) hydraulic design for 1% AEP and 50% AEP storms; and provision of all software data files for both pre-development and post-development scenarios, demonstrating that the post-development peak stormwater discharge rates are the same or less than the pre-development peak stormwater discharge rates;
- (b) drainage paths within the property and to the lawful point(s) of discharge; and
- (c) details of any cut or fill required to direct stormwater to a lawful point of discharge.

The internal and external stormwater design as submitted in the Operational Work application OPW25/0019 shall be subject to change pending approval of the required SMP.

**Comment:** If the post-development stormwater discharge rates do not exceed the pre-development stormwater discharge rates, then the stormwater pipe proposed within the Logan Street verge may not be required.

ENG 15 Ensure that earthworks and fill on the subject land do not lead to ponding of stormwater or actionable nuisance and ensure that the development and adjoining properties drain freely to a lawful point of discharge in accordance with the Queensland Urban Drainage Manual.

ENG 16 Do not concentrate stormwater onto adjoining properties.

## **DEVELOPMENT WORKS**

ENG 17 Maintain erosion and sedimentation controls at all times during the course of the project and the ensuing defects liability period. Council Officers will inspect and assess the sediment and erosion control measures and temporary fencing implemented, and any alterations and/or supplementary works required must be incorporated.

ENG 18 Implement measures to prevent site vehicles tracking sediment and other pollutants from the site onto adjoining streets during the course of the project, and to prevent dust nuisance during construction and the ensuing defects liability period.

ENG 19 Be responsible for protecting nearby property owners from dust pollution arising from construction and maintenance of the works required by this approval, and comply with any lawful instructions from the Assessment Manager if, in his opinion, a dust nuisance exists.

ENG 20 Waste material as a result of demolition work and excavation work must not be used as fill as described within the *Waste Reduction and Recycling Act 2011*.

## **EARTHWORKS**

- ENG 21 Supervise bulk earthworks to Level 1 or Level 2 as applicable, and have a frequency of field density testing carried out in accordance with Table 8.1 of AS3798.
- ENG 22 Contain cut or fill batters wholly within the subject land. Do not place fill on adjacent properties without providing Council with written permission from the respective property owner(s).
- ENG 23 Do not store plant or material on adjoining lands without written permission from the respective property owner(s).
- ENG 24 Do not use contaminated material as fill on the site. Undertake any filling using inert materials only, with a maximum particle size of 75mm.
- ENG 25 Ensure open drains and fill platforms are constructed with a longitudinal grade on no less than 0.1%.

## **SEWER**

- ENG 26 The development shall be connected to the Council reticulated sewer network via single connection.

**Comment:** The proposed pipe work shown on drawings C601, C602, C603, and C604 are not approved as sewer. All internal pipe work related to wastewater shall be designed as Sanitary drainage in accordance with AS3500.2 Sanitary plumbing and drainage.

- ENG 27 Any existing sewer main within the site that is not required to service the development, shall be decommissioned, and either removed, or filled with flowable concrete.

## **WATER SUPPLY**

- ENG 28 The development shall be connected to the Council reticulated water network via single connection. The single connection shall include a by-pass arrangement for firefighting purposes, in accordance with Council's requirements.

**Comment:** The proposed pipe work shown on drawings C501 and C502 are not approved as water mains. All internal pipe work related to water supply shall be designed in accordance with AS3500.1 Water Services.

- ENG 29 Do not keep any external water services interrupted for more than a cumulative total of three hours during development works, and a minimum of five (5) days notice of any interruptions must be provided to Council and any relevant consumers.

## **INSPECTIONS AND TESTING**

- ENG 30 Provide Council with a minimum of two (2) clear working days' notice to undertake compulsory inspections and meetings at the following stages:

- a) Pre-start meeting with Council, Contractor, Supervising Engineer and developer;
- b) Water: in accordance with Council's Minimum Requirements for Water and Sewerage Works, and:
  - i. prior to connection of any works to the reticulated water supply system

- (c) Sewer and Sewer Pump Station: in accordance with Council's Minimum Requirements for Water and Sewerage Works, and:
  - i. prior to connection of any works to the existing sewer network.
- (d) Stormwater:
  - i. prior to backfilling of any external stormwater drainage works (if required).
- (e) at the point of completion of all works before placing on-maintenance; and
- (f) at the point of requesting Council to accept the works off-maintenance.

ENG 31 Submit to Council, all inspection and test data in its entirety prepared by the applicant, Engineer, Principal Contractor or by Subcontractors in relation to the Operational Work or as described in the application prior to commencement of the use. Undertake any further inspection, testing or analysis required, due to failure of work to meet specifications or where the testing previously provided is considered insufficient on behalf of the Principal Contractor by a NATA accredited entity (where applicable).

ENG 32 Uncover all works covered prior to inspection to allow inspection by Council at Council's sole discretion.

ENG 33 Allow Council to enter a work site to which this approval relates and undertake testing or analysis of any part of the construction, and Council is not liable for the rectification of or compensation for any damage caused in the testing or analysis process. Should work be found to be not constructed to specification or of poor quality, any reasonable instruction given by Council Officers must be considered to be a condition of approval and undertaken by the Principal Contractor.

ENG 34 Where complete or incomplete works under this approval adversely affect adjoining properties, Council land, roads or other infrastructure, Council requires by notice, works to be completed.

ENG 35 Undertake any works for the safety or health of the community or protection of infrastructure where Council deems it necessary.

## **MAINTENANCE**

ENG 36 Submit to Council, a written request to place constructed works on-maintenance or off-maintenance from the developer's certifying Engineer stating that all approved works have been completed and are ready for Council inspection.

ENG 37 Submit to Council, a Closed-Circuit Television (CCTV) inspection for all underground stormwater drainage and sewerage works undertaken by an accredited provider at on and off-maintenance. A certified copy of the report including a disk or storage device is to be submitted to Council for review and endorsement prior to Council's acceptance of the works on or off-maintenance.

ENG 38 Pay to Council, a maintenance bond of 5% of the cost of the operational work as estimated or accepted by Council, prior to commencement of the on-maintenance period.

ENG 39 Maintain all works that will become Council infrastructure for a period of 12 months (maintenance period) from commencement of the on-maintenance period. Undertake any necessary maintenance or repairs to non-conforming work, defects and/or damage to any works undertaken in relation to this approval, even where damage has resulted from a third-party activity within the maintenance period.

ENG 40 The maintenance bond will be entirely forfeited to Council should there be any failure by the applicant to undertake any such works considered by Council as necessary, to rectify any non-compliant works and to protect public safety. In the event that the bond is insufficient to address the non-compliant works, Council reserves the right to seek restitution. After expiration of the maintenance period and where required maintenance is suitably undertaken to Council's satisfaction, the bond will be returned accordingly, after the project is accepted off-maintenance.

ENG 41 The on-maintenance period commences only when Council provides written confirmation that all of the following are completed:

- a) satisfactory completion of all works and conditions of Operational Work approval including associated Material Change of Use approval;
- b) provision of all necessary test and quality audit requirements;
- c) lodgement with Council, of certification from an RPEQ that the works have been undertaken in accordance with the approved plans and specifications and to Council's requirements;
- d) lodgement of a maintenance bond of 5% of the cost of the operational work as accepted by Council;
- e) submission of "As Constructed" data in the required format; and
- f) compliance with the conditions of approval for any Operational Work and associated Material Change of Use approval and any other approvals on the subject site.

## **AS CONSTRUCTED INFORMATION**

ENG 42 Submit to Council within 10 working days of completion of the operational work, suitable "As Constructed" drawings in hard copy and AutoCAD format and on GDA Zone 56 co-ordinates. The "As Constructed" drawings or data capture methods as required by Council must be certified by a Registered Professional Engineer of Queensland (RPEQ) on every drawing and shall be to an appropriate electronic format and standard as required by Council's Infrastructure Services General Manager.

ENG 43 Provide "As Constructed" data for the following elements, where applicable:

- a) sewerage;
- b) earthwork, and
- c) stormwater drainage (if required).

*The approval is subject to construction being undertaken in accordance with the Approved Plans prepared by Griffin Civil Engineers as listed below:*

<b><i>Drawing No./ Revision/Sheet No.</i></b>	<b><i>Revision</i></b>	<b><i>Drawing/Plan Title</i></b>	<b><i>Date</i></b>
20-180-C101	B	LOCALITY PLAN & SHEET LIST	04/10/25
20-180-C102	B	GENERAL NOTES	04/10/25
20-180-C103	B	REFERENCE DRAWINGS	04/10/25
20-180-C104	B	EXISTING SITE PLAN	04/10/25
20-180-C201	B	INTERNAL ROAD LAYOUT PLAN	04/10/25
20-180-C202	B	INTERNAL ROAD SETOUT	04/10/25

20-180-C203	B	INTERNAL ROAD TYPE SECTIONS	04/10/25
20-180-C204	B	MANOUEVERABILITY 1 OF 2	04/10/25
20-180-C205	B	MANOUEVERABILITY 2 OF 2	04/10/25
20-180-C206	B	INTERNAL ROAD 1 LONGITUDINAL SECTION 1 OF 2	04/10/25
20-180-C207	B	INTERNAL ROAD 1 LONGITUDINAL SECTION 2 OF 2	04/10/25
20-180-C208	B	INTERNAL ROAD 2 LONGITUDINAL SECTION 1 OF 2	04/10/25
20-180-C209	B	INTERNAL ROAD 2 LONGITUDINAL SECTION 2 OF 2	04/10/25
20-180-C210	B	INTERNAL ROAD 3 LONGITUDINAL SECTION 1 OF 2	04/10/25
20-180-C211	B	INTERNAL ROAD 3 LONGITUDINAL SECTION 2 OF 2	04/10/25
20-180-C212	B	INTERNAL ROAD 4 LONGITUDINAL SECTION	04/10/25
20-180-C213	B	INTERNAL ROAD 1 CROSS SECTIONS	04/10/25
20-180-C214	B	INTERNAL ROAD 2 CROSS SECTIONS	04/10/25
20-180-C215	B	INTERNAL ROAD 3 CROSS SECTIONS	04/10/25
20-180-C301	B	EROSION CONTROL	04/10/25
20-180-C401	B	EARTHWORKS	04/10/25
20-180-C402	B	RETAINING WALL ELEVATIONS	04/10/25

#### REFERRAL AGENCIES

Not Applicable.

#### APPROVED PLANS

The following plans are Approved plans for the development:

#### Approved Plans

Plan No.	Rev.	Plan Name	Date
20-180-C101	B	<i>LOCALITY PLAN &amp; SHEET LIST</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C102	B	<i>GENERAL NOTES</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C103	B	<i>REFERENCE DRAWINGS</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C104	B	<i>EXISTING SITE PLAN</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C201	B	<i>INTERNAL ROAD LAYOUT PLAN</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C202	B	<i>INTERNAL ROAD SETOUT</i> , prepared by Griffin Civil Engineers	04/10/25

20-180-C203	B	<i>INTERNAL ROAD TYPE SECTIONS</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C204	B	<i>MANOUEVERABILITY 1 OF 2</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C205	B	<i>MANOUEVERABILITY 2 OF 2</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C206	B	<i>INTERNAL ROAD 1 LONGITUDINAL SECTION 1 OF 2</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C207	B	<i>INTERNAL ROAD 1 LONGITUDINAL SECTION 2 OF 2</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C208	B	<i>INTERNAL ROAD 2 LONGITUDINAL SECTION 1 OF 2</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C209	B	<i>INTERNAL ROAD 2 LONGITUDINAL SECTION 2 OF 2</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C210	B	<i>INTERNAL ROAD 3 LONGITUDINAL SECTION 1 OF 2</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C211	B	<i>INTERNAL ROAD 3 LONGITUDINAL SECTION 2 OF 2</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C212	B	<i>INTERNAL ROAD 4 LONGITUDINAL SECTION</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C213	B	<i>INTERNAL ROAD 1 CROSS SECTIONS</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C214	B	<i>INTERNAL ROAD 2 CROSS SECTIONS</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C215	B	<i>INTERNAL ROAD 3 CROSS SECTIONS</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C301	B	<i>EROSION CONTROL</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C401	B	<i>EARTHWORKS</i> , prepared by Griffin Civil Engineers	04/10/25
20-180-C402	B	<i>RETAINING WALL ELEVATIONS</i> , prepared by Griffin Civil Engineers	04/10/25

## REFERENCED DOCUMENTS

Not Applicable.

## ADVISORY NOTES

The following notes are included for guidance and information purposes only and do not form part of the assessment manager conditions:

### ADVICE NOTES

The applicant be advised that:

- (a) This approval doesn't not extend to the water supply or sewer as proposed in the application drawings. Wastewater pipe work is considered to be Sanitary drainage design in accordance with *AS3500.2 Sanitary Plumbing and Drainage* and will require further plumbing and drainage permit from Council.
- (b) Internal pipe work for water supply to be designed in accordance with *AS3500.1 Water Services*, and approved as part of a future building application.



- (c) The *Aboriginal Cultural Heritage Act 2003* (ACHA) is administered by the Department of Aboriginal and Torres Strait Islander and Multicultural Affairs (DATSIMA). The ACHA establishes a duty of care to take all reasonable and practicable measures to ensure any activity does not harm Aboriginal cultural heritage. This duty of care:
- i. is not negated by the issuing of this development approval;
  - ii. applies on all land and water, including freehold land;
  - iii. lies with the person or entity conducting an activity; and
  - iv. if breached, is subject to criminal offence penalties.
- Those proposing an activity involving surface disturbance beyond that which has already occurred at the proposed site must observe this duty of care. Details of how to fulfil this duty of care are outlined in the duty of care guidelines gazetted with the ACHA. The applicant should contact DATSIP's Cultural Heritage Co-ordination Unit on telephone (07) 3224 2070 for further information on the responsibilities of developers under the ACHA.
- (d) The **relevant period** for the development approval (Operational Work) shall be **two (2) years** starting the day the approval is granted or takes effect. In accordance with Section 85(1)(c) of the *Planning Act 2016*, the development approval for Operational Work lapses if the development does not substantially start within the abovementioned **relevant period**.
- An applicant may request Council to extend the **relevant period** provided that such request is made in accordance with Section 86 of *Planning Act 2016* and before the development approval lapses under Section 85 of the *Planning Act 2016*.
- (e) Council is to be indemnified against any claims arising from works carried out by the applicant on Council's property.
- (f) The relevant Planning Scheme for this Development Permit is the South Burnett Regional Council Planning Scheme 2017 v2.0. All references to the Planning Scheme and Schedules within these conditions refer to the above Planning Scheme.

#### PROPERTY NOTES

Not Applicable.

#### VARIATION APPROVAL

Not Applicable.

#### FURTHER DEVELOPMENT PERMITS REQUIRED

Not Applicable.

#### SUBMISSIONS

Not Applicable.

#### RIGHTS OF APPEAL

You are entitled to appeal against this decision. A copy of the relevant appeal provisions from the *Planning Act 2016* is attached.

During the appeal period, you as the applicant may suspend your appeal period and make written representations to council about the conditions contained within the development approval. If council agrees or agrees in part with the representations, a “negotiated decision notice” will be issued. Only one “negotiated decision notice” may be given. Taking this step will defer your appeal period, which will commence again from the start the day after you receive a “negotiated decision notice”.

#### **OTHER DETAILS**

If you wish to obtain more information about Council’s decision, electronic copies are available on line at [www.southburnett.qld.gov.au](http://www.southburnett.qld.gov.au), or at Council Offices.

Yours faithfully




**DAVID HURSTHOUSE**  
**COORDINATOR DEVELOPMENT SERVICES**

Enc:   Approved Plans  
      Appeal Rights



(c) OpenStreetMap contributors

FOR APPROVAL - NOT FOR CONSTRUCTION

	KINGSGROVE LIVING FOR GREENIDE PTY LTD		
	LOGAN ROAD KINGARROY		
LOCALITY PLAN & SHEET LIST			
Scale	A3	Size of Plot	Drawing No.
		1 40	20-180-C101
			B
Prepared by: J. G. W. J. G. W. Drawn by: J. G. W. J. G. W. SPED 16155			

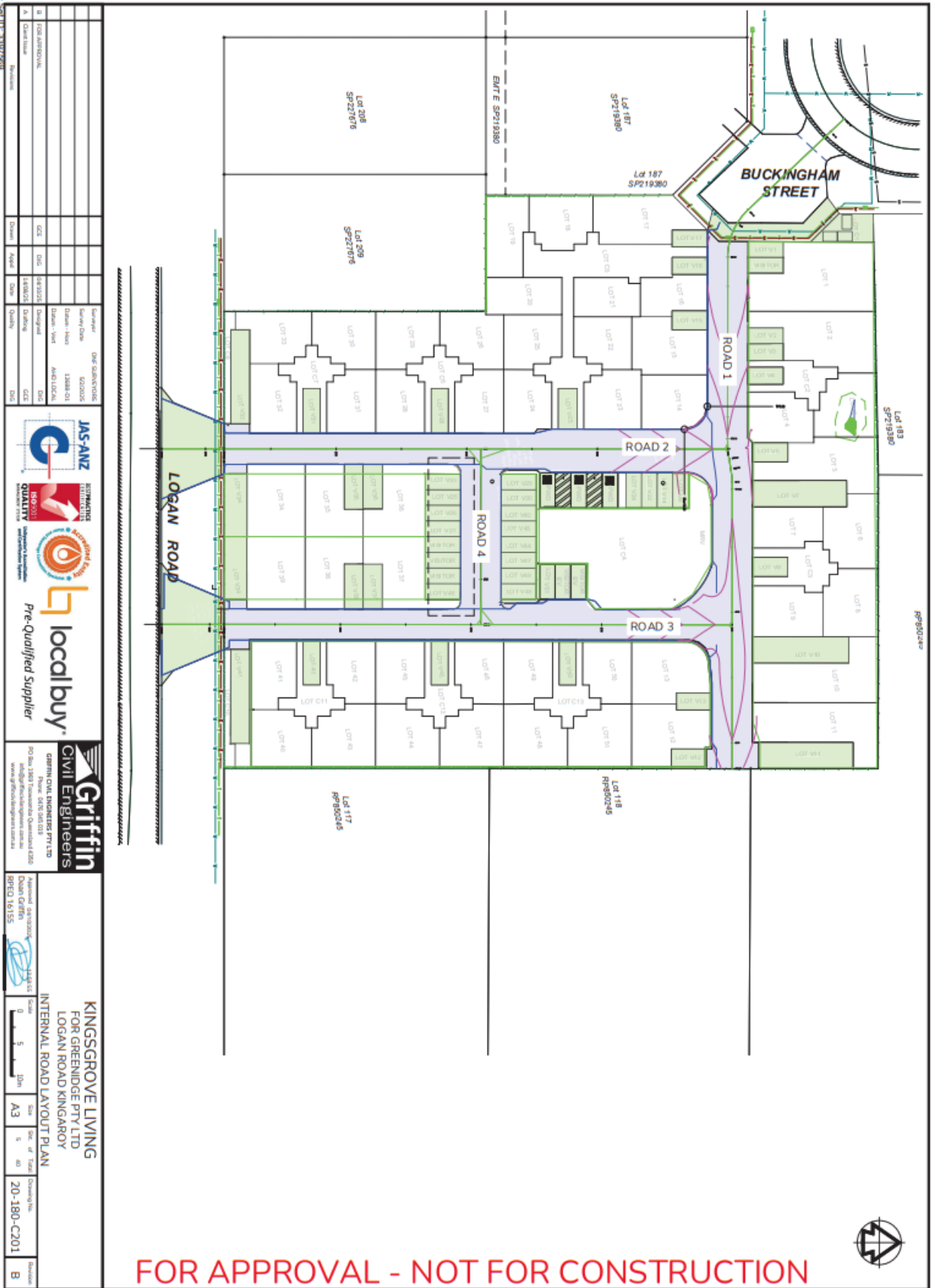


IPWEA Drawings	
ACCESS CHAMBER	
DS-010	STORMWATER ACCESS CHAMBER DETAIL - 1050 TO 2100 DIA
DS-018	MANHOLE RISER DETAILS (ROADWAY)
DS-019	MANHOLE COVER (ROADWAY) 1050 TO 2100 DIA
DS-020	MANHOLE COVER (NON-ROADWAY) 1050 TO 2100 DIA
DS-021	MANHOLE COVER CONCRETE INFL PRECASTRAIN TRAFFIC 1050 TO 2100 DIA
DRAINAGE PITS	
DS-050	FIELD INLET - TYPE 1 AND TYPE 2
DS-060	KERB INLET - KERB IN LINE - GENERAL ARRANGEMENT
DS-061	KERB INLET - PRECAST LID INLET DETAILS

CONCRETE DETAILS	
05-082	CULVERT INLET SCREEN
DRIVEWAYS	
RS-051	HEAVY DUTY DRIVEWAYS
PATHWAYS	
RS-005	CONCRETE PATHWAY - CONSTRUCTION DETAILS
CURB RAIMS	
RS-000	RAMPED PEDESTRIAN CROSSINGS
ROAD FURNITURE	
RS-130	STREET NAME SIGN AND LOCATION (PAGERBOARD)
RS-131	ROAD FURNITURE TRAFFIC SIGN INSTALLATION DETAILS
SUBURBAN DRAINS	
RS-140	DETAILS AND LOCATION
RS-142	ACCESS POINTS
PARKING EXTENSION	
RS-170	TRENCHING AND WIDENING

FOR APPROVAL - NOT FOR CONSTRUCTION









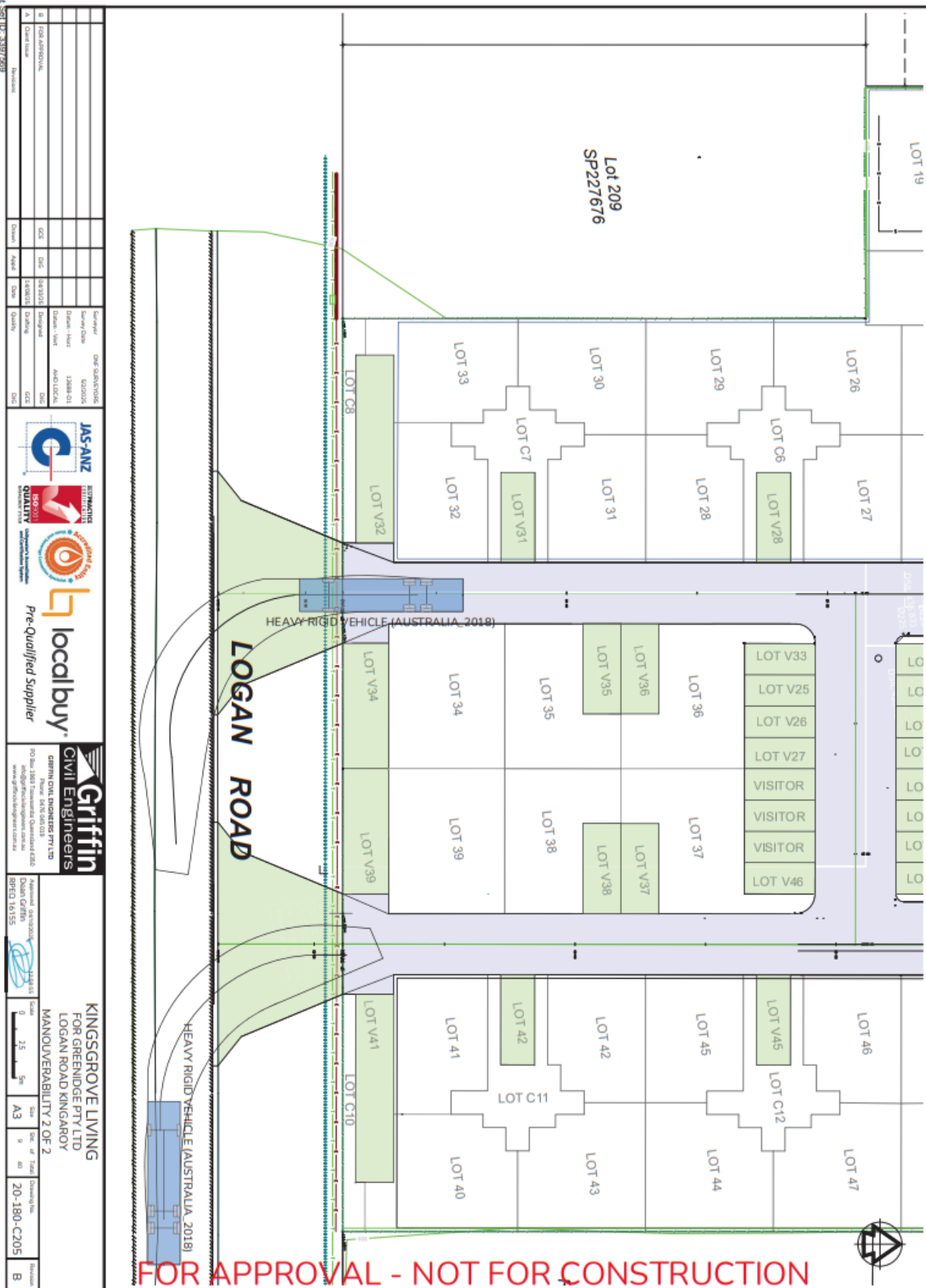




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Version: 1, Version Date: 10/12/2025





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Supplier	ONG S&B'S PTE LTD
Issued Date	07/20/20
Expiry Date	12/31/21
Expiry Unit	USD 10000
Expiry Item	CEMENT



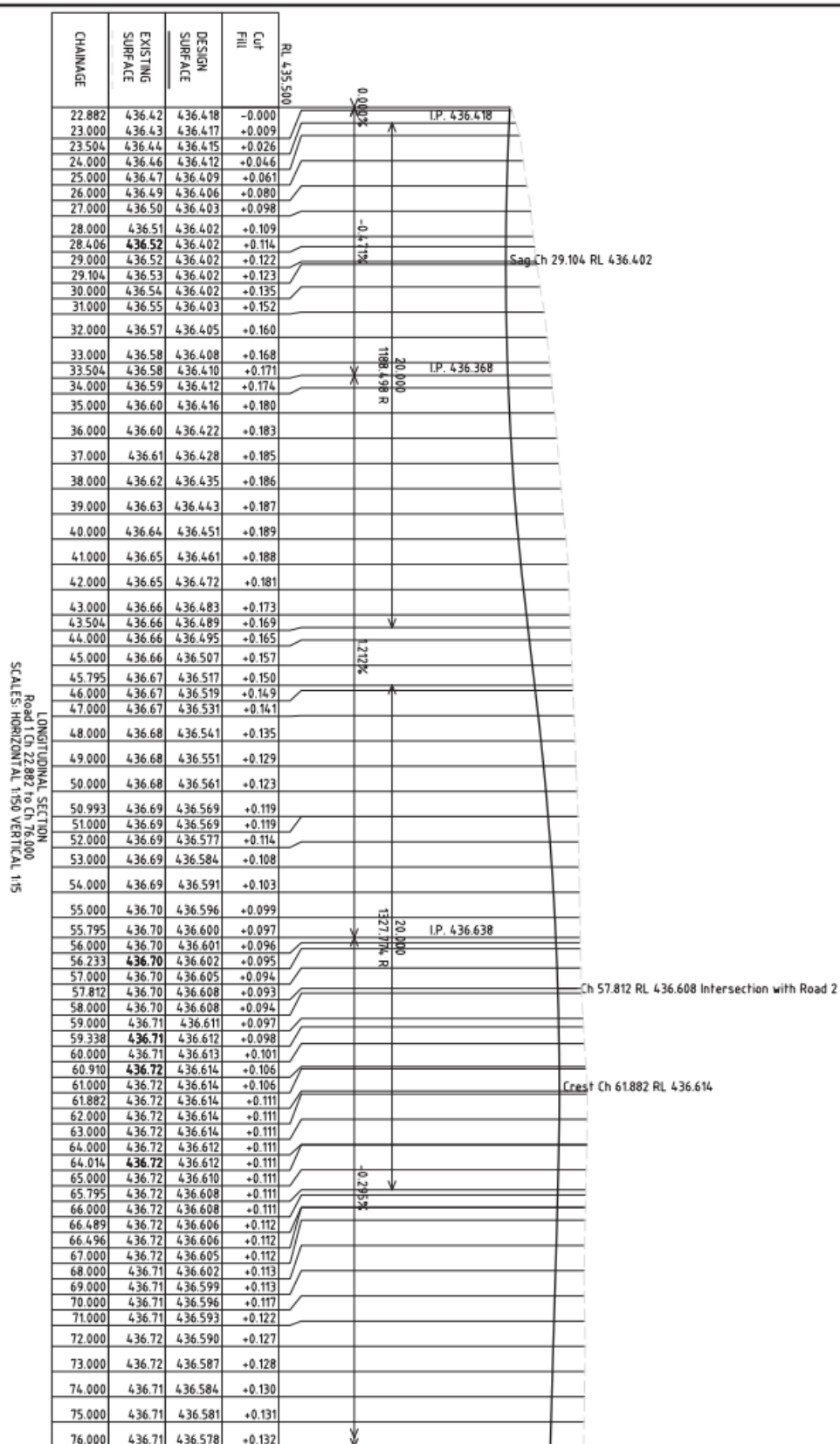
Pre-Qualified Supplier



Griffin Civil Engineers

Griffin Civil Engineers Pty Ltd  
For Greenidge Pty Ltd  
LOCAL ROAD KINGAROO  
INTERNAL ROAD 1 LONGITUDINAL SECTION 1 OF 2

Approved by: 	Scale	Size	Sheet No. of Total	Drawing No.	Revision
08/07/16 16:55	A3	10	40	20-180-C206	B



FOR APPROVAL - NOT FOR CONSTRUCTION

Project Name		Client Name		Drawn By		Checked By		Date	
Kingsgrove Living		Kingsgrove Living		J. Smith		J. Smith		10/12/2025	
Project No		Client No		Drawn No		Checked No		Date	
20-180-C207		KL-001		1000001		1000001		10/12/2025	
Project Location		Client Location		Drawn Location		Checked Location		Date	
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Project Manager		Client Manager		Drawn Manager		Checked Manager		Date	
J. Smith		J. Smith		J. Smith		J. Smith		10/12/2025	
Project Engineer		Client Engineer		Drawn Engineer		Checked Engineer		Date	
J. Smith		J. Smith		J. Smith		J. Smith		10/12/2025	
Project Designer		Client Designer		Drawn Designer		Checked Designer		Date	
J. Smith		J. Smith		J. Smith		J. Smith		10/12/2025	
Project Checker		Client Checker		Drawn Checker		Checked Checker		Date	
J. Smith		J. Smith		J. Smith		J. Smith		10/12/2025	
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J. Smith		J. Smith		J. Smith		J. Smith		10/12/2025	

**JAS-ANZ**  
REGISTERED  
STRUCTURAL  
ENGINEERS  
10/12/2025

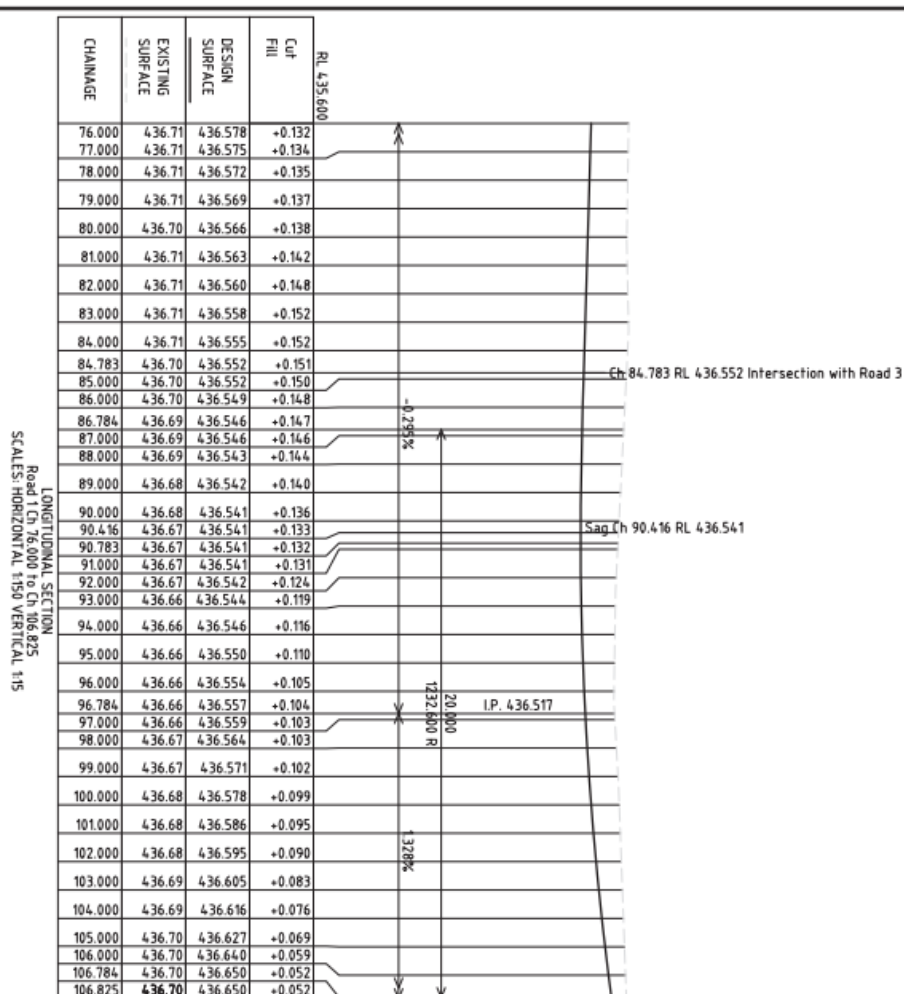
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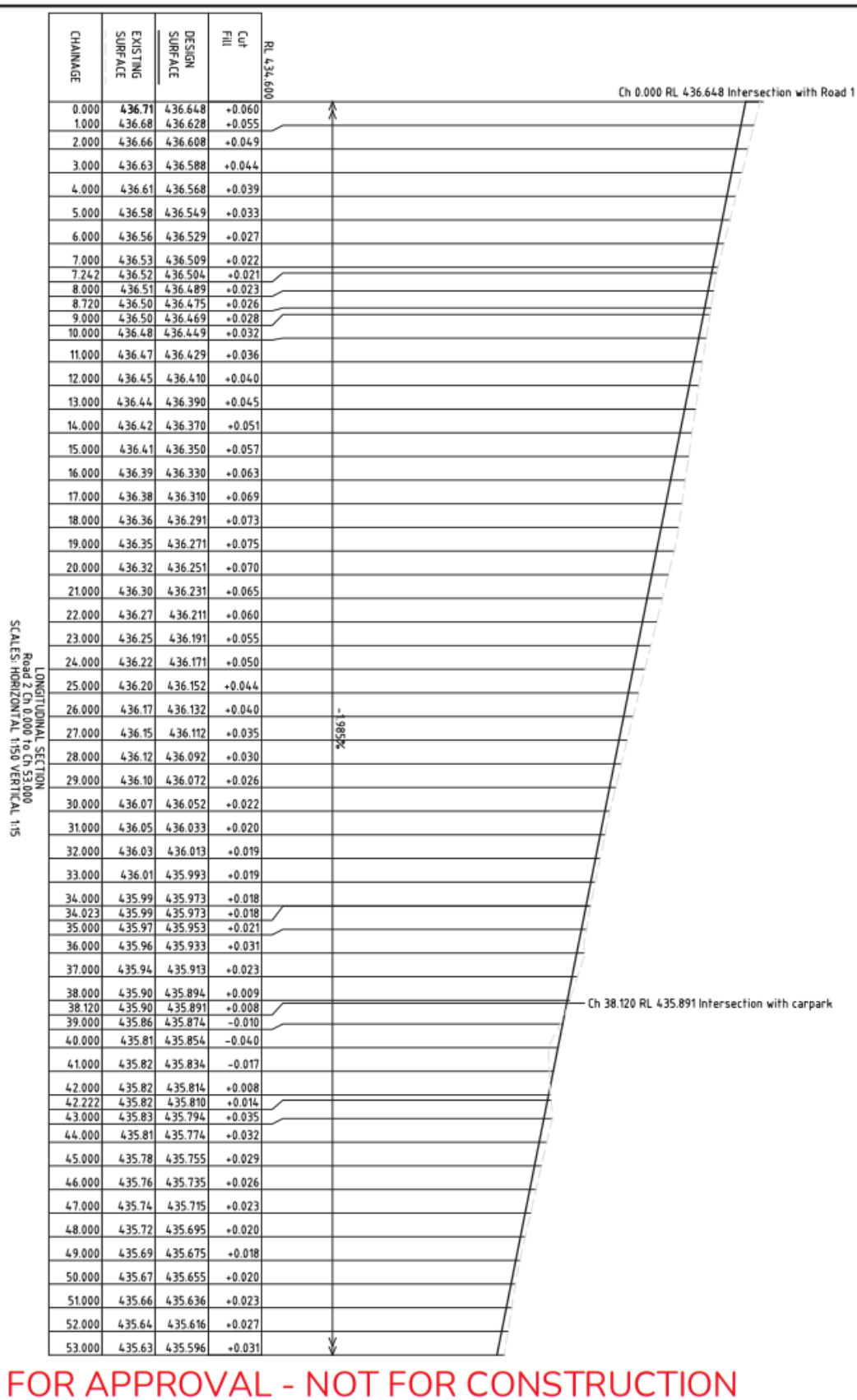
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FOR GREENIDGE PTY LTD  
LOGAN ROAD KINGSGROVE

INTERNAL ROAD 1 LONGITUDINAL SECTION 2 OF 2

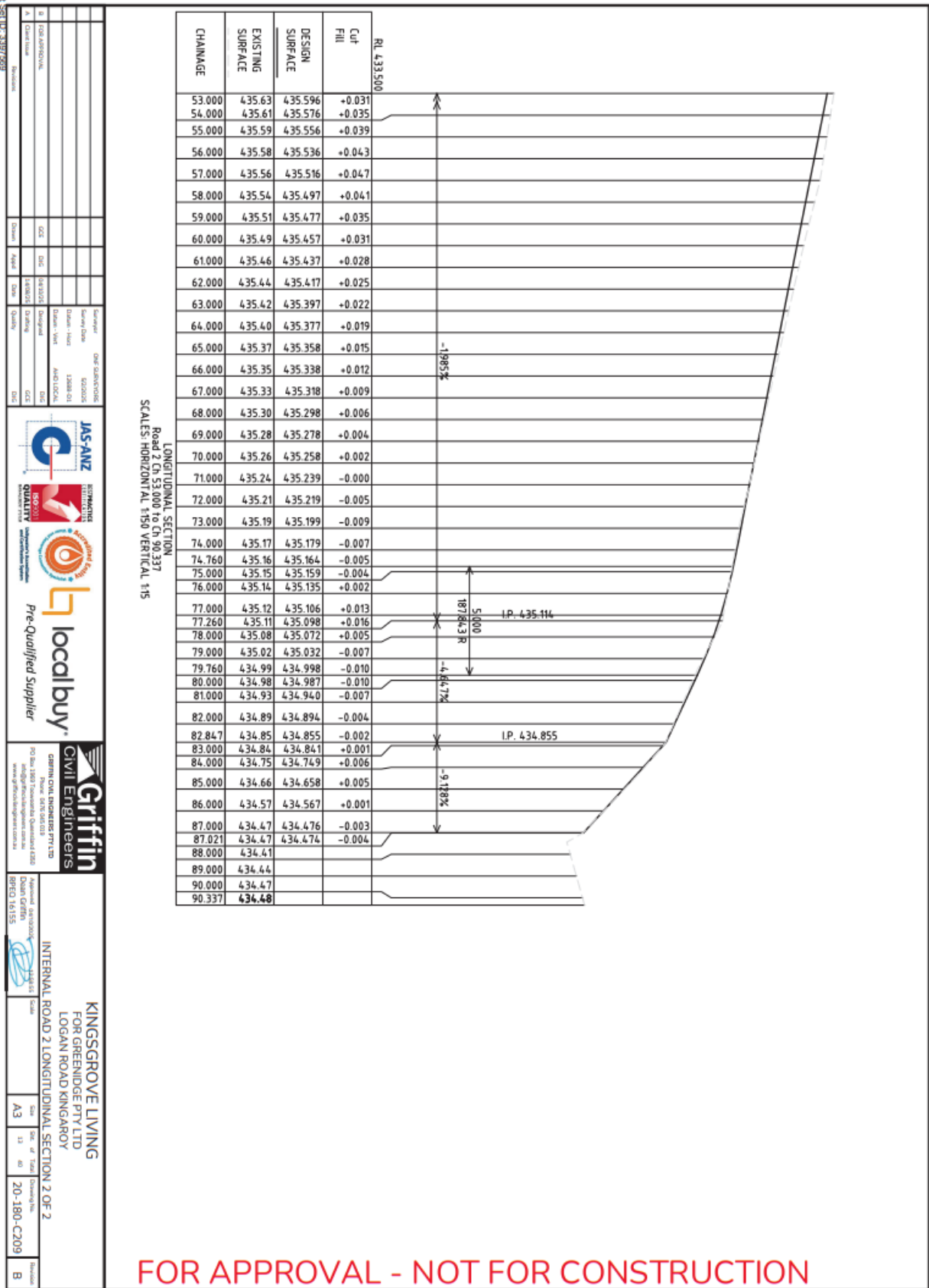
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FOR APPROVAL - NOT FOR CONSTRUCTION

[illegible]





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Client Name		KINGSGROVE LIVING FOR GREENIDGE PTY LTD	
Project No.		20-180-C210	
Project Date		10/12/2025	
Project Status		Approved	
Project Location		LOCAL ROAD KINGSGROVE	
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Project Checked By		14	
Project Date		20-180-C210	
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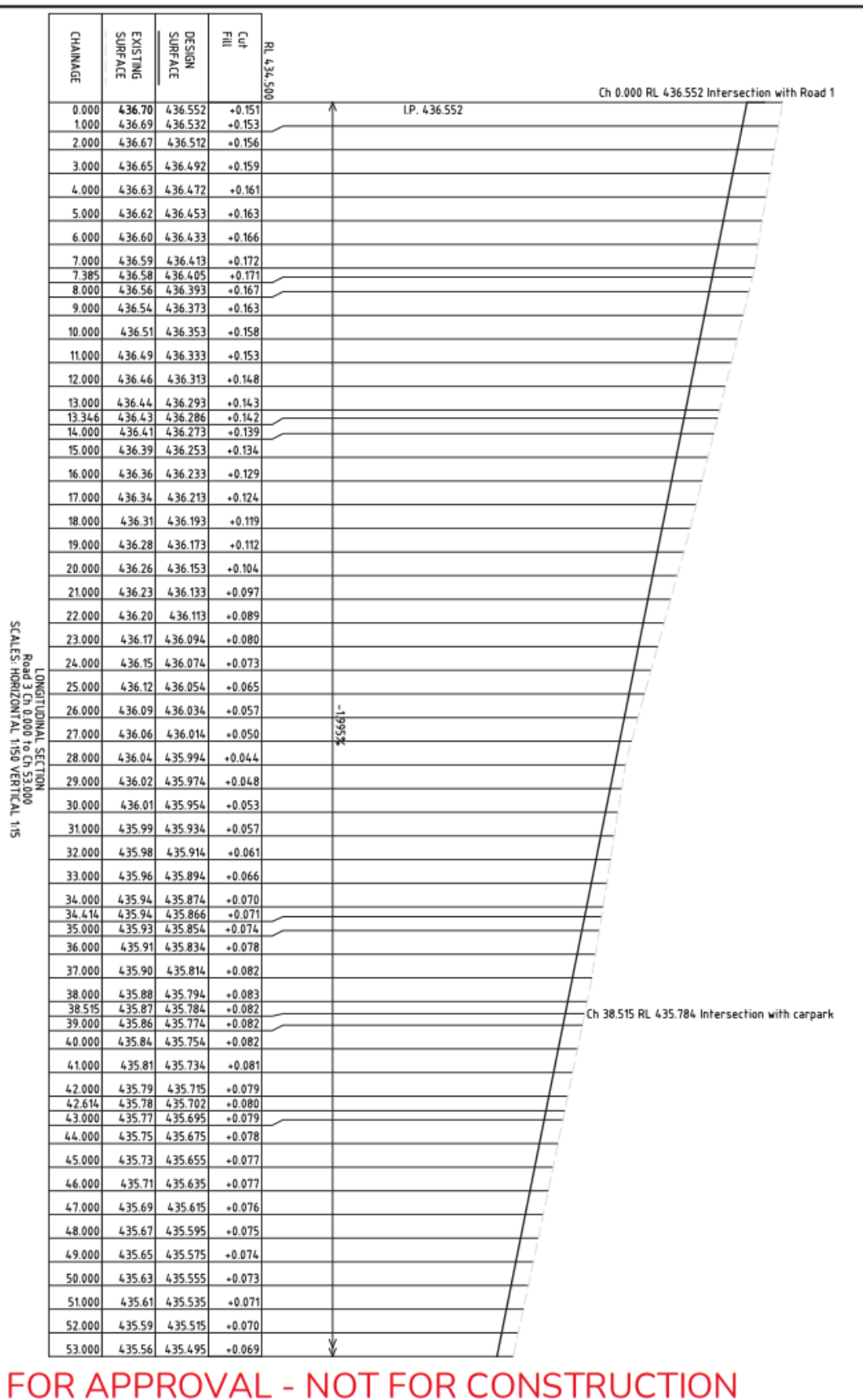
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STRUCTURAL  
ENGINEERS  
No. 10001



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Project Name		Client		Survey Date		Survey Data	
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Project No		Drawing No		Drawing Date		Drawing Date	
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Project Name		Client		Survey Date		Survey Data	
KINGSGROVE LIVING FOR GREENIDGE PTY LTD		LOGAN ROAD KINGARROY		12/08/2025		12/08/2025	
Project No		Drawing No		Drawing Date		Drawing Date	
KINGSGROVE LIVING FOR GREENIDGE PTY LTD		LOGAN ROAD KINGARROY		12/08/2025		12/08/2025	





Pre-Qualified Supplier



Griffin Civil Engineers

Approved for Issue

Drawn by

Scale

Sheet No

Sheet of

Project No

Project Name

20-180-C212

20-180-C212

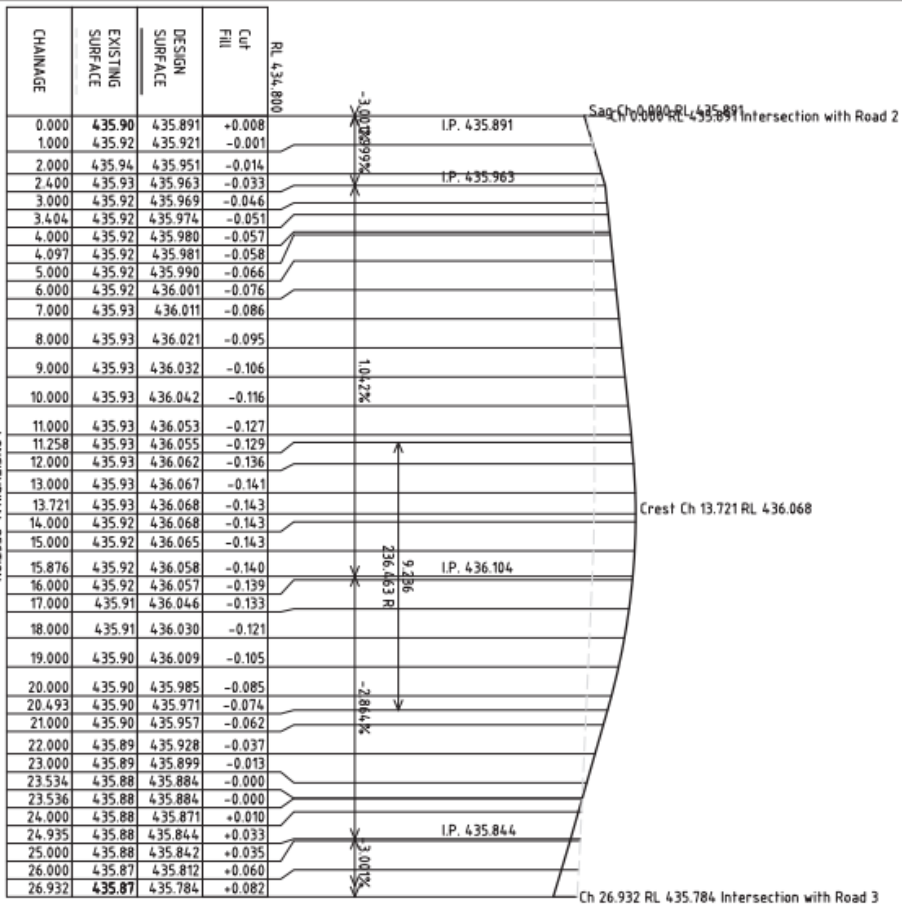
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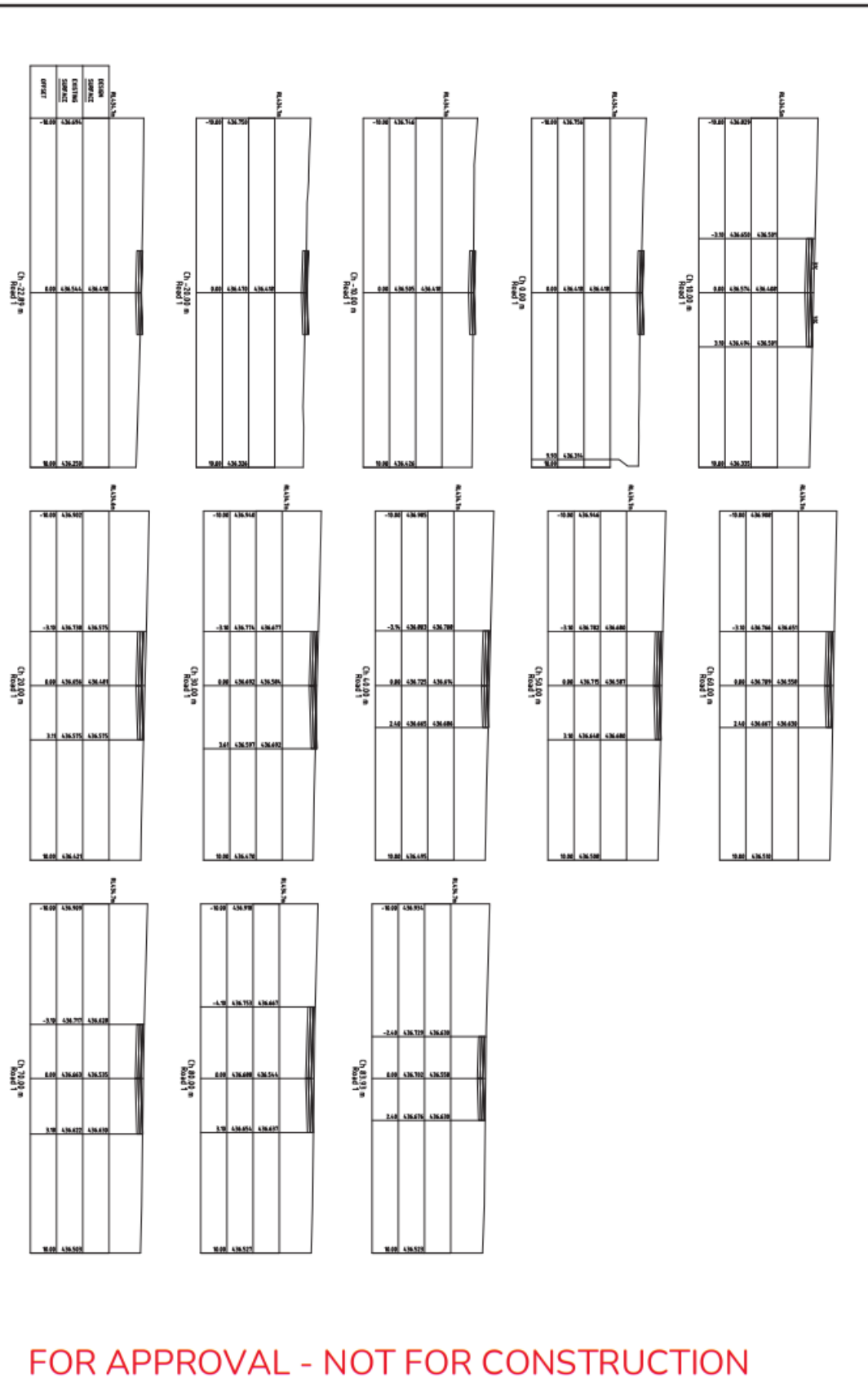
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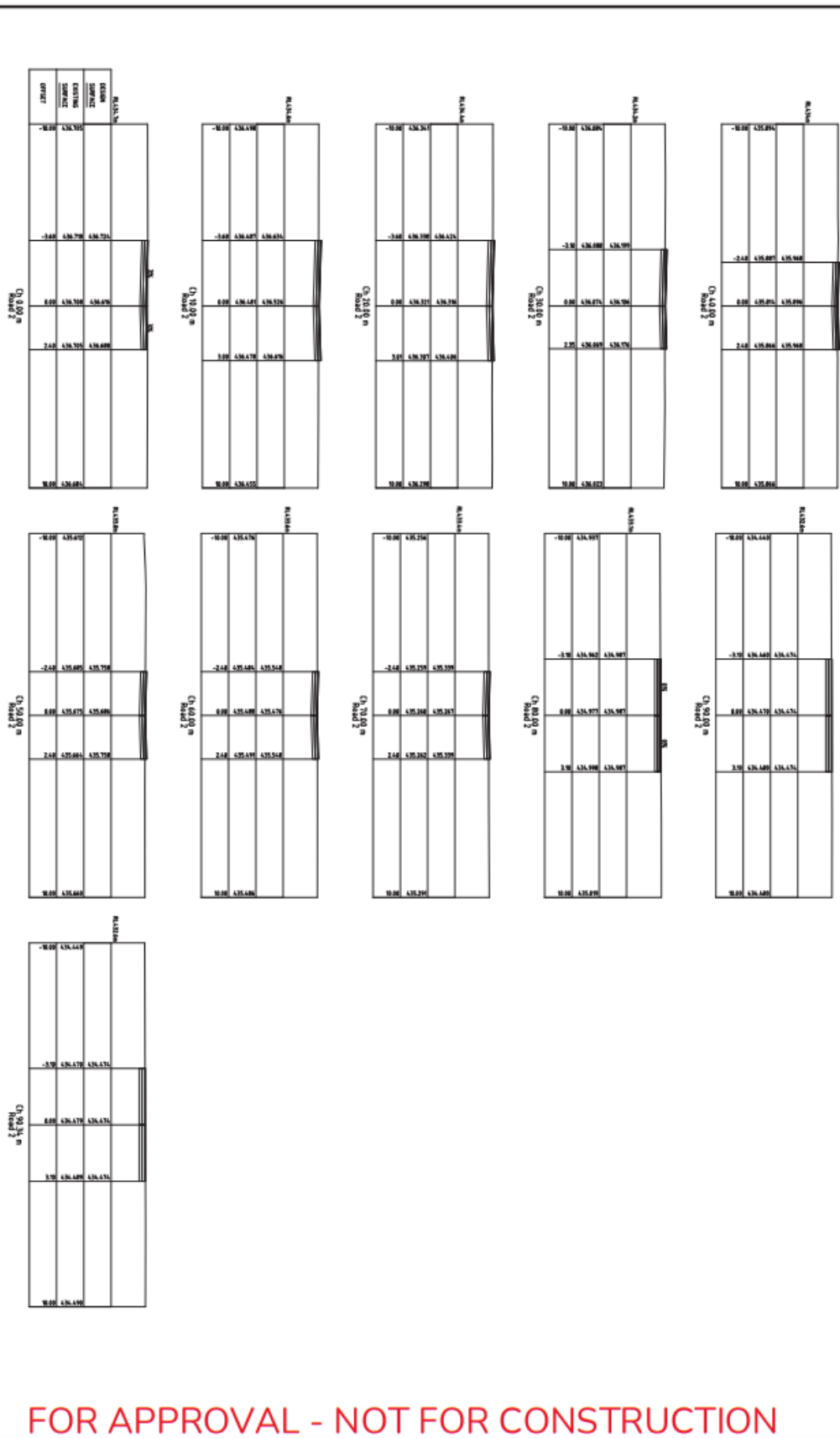


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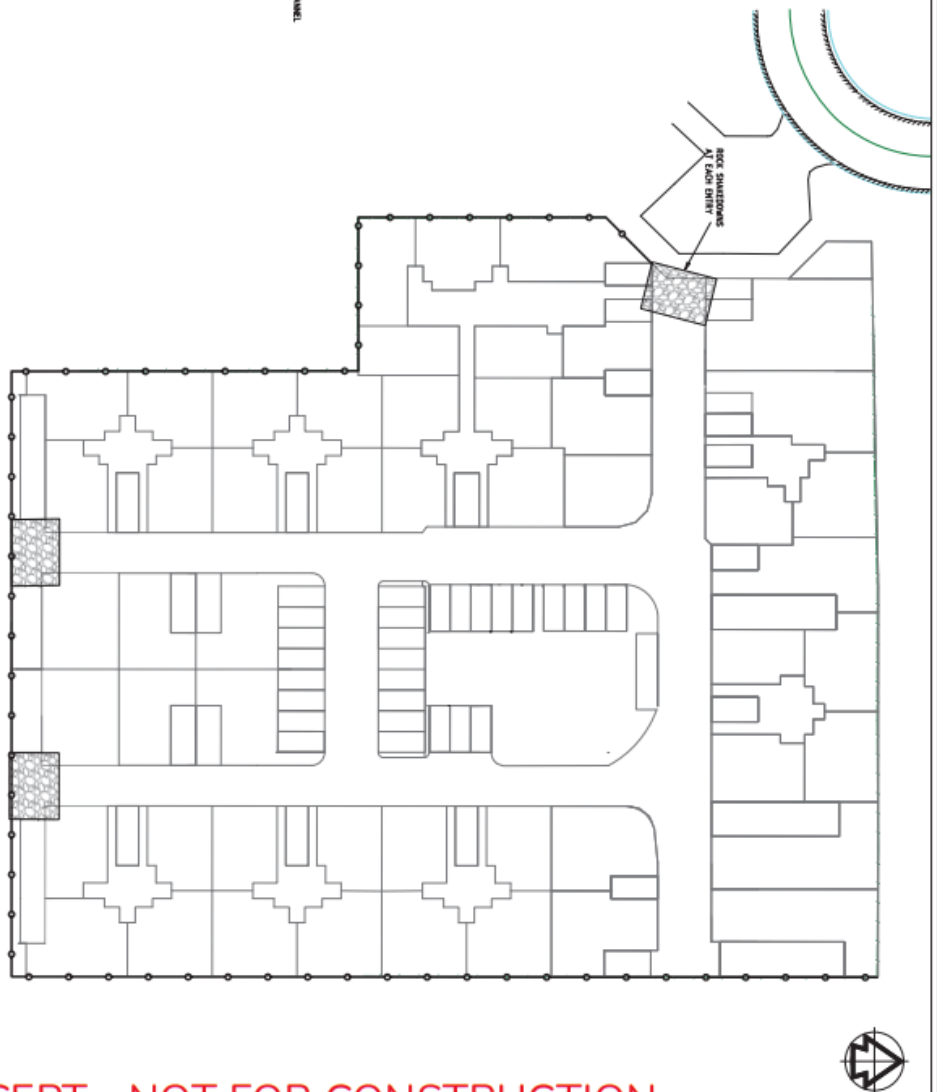
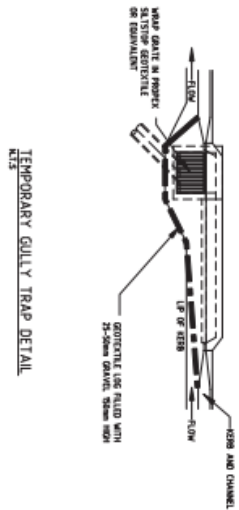
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C. Project Name		Client		Project No.		Project Date	
D. Project Name		Client		Project No.		Project Date	
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L. Project Name		Client		Project No.		Project Date	
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O. Project Name		Client		Project No.		Project Date	
P. Project Name		Client		Project No.		Project Date	
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Z. Project Name		Client		Project No.		Project Date	







CONCEPT - NOT FOR CONSTRUCTION

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					Survey Date	02/03/2015
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					Datum - Vert	ANZ ICDN
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35						



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Approved 18/03/2016  
Dean Griffin  
18/03/2016

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Revision: B



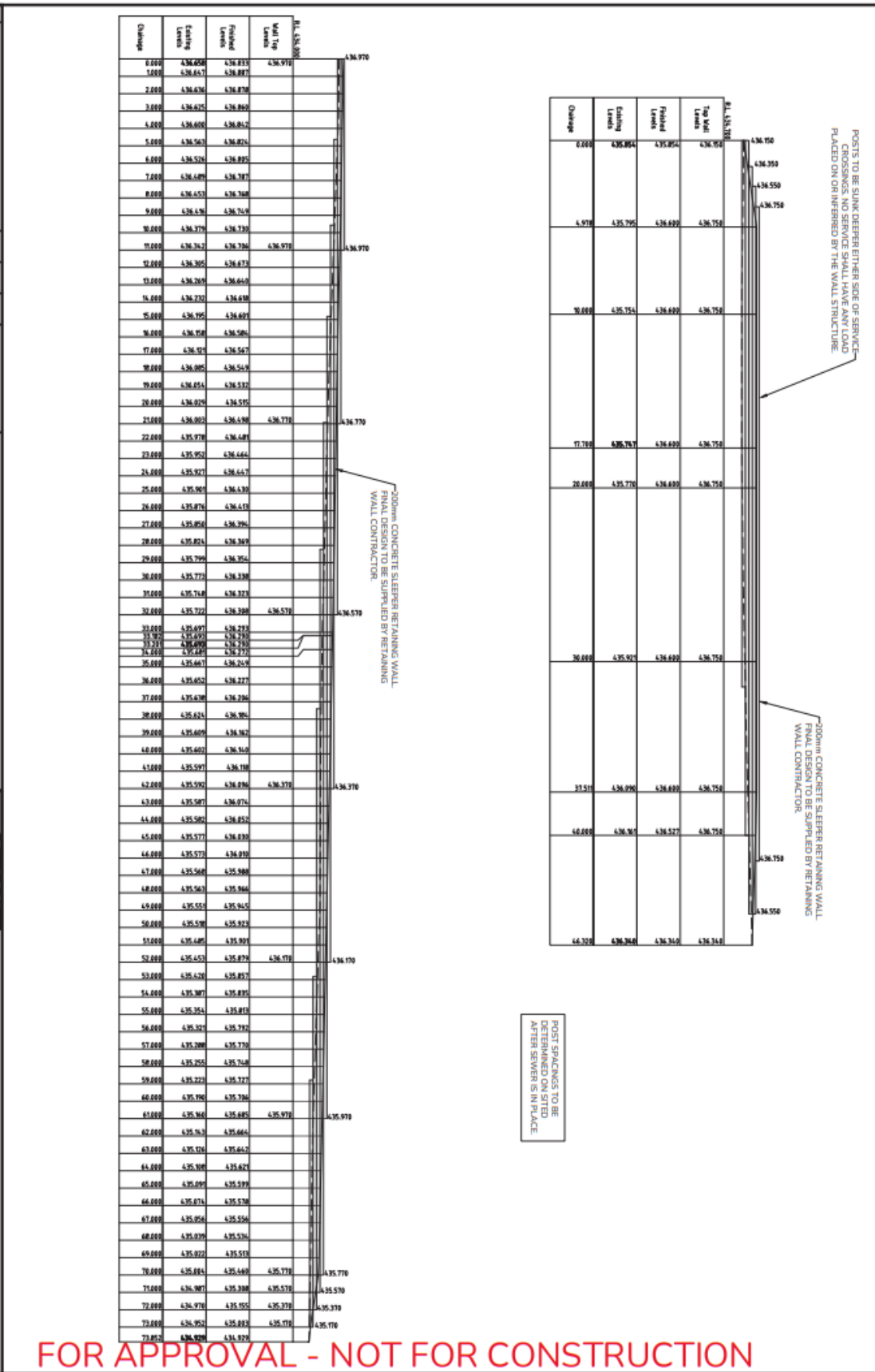


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Client Name		FOR GREENIDGE PTY LTD	
Site Address		LOGAN ROAD KINGAROY	
Drawing Title		RETAINING WALL ELEVATIONS	
Drawing No.		20-180-C402	
Scale		1:100	
Author		A3	
Check		22	
Date		20-180-C402	
Revision		B	

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# Appeal Rights

## PLANNING ACT 2016 & THE PLANNING REGULATION 2017

### Chapter 6 Dispute resolution

#### Part 1 Appeal rights

##### 229 Appeals to tribunal or P&E Court

- (1) Schedule 1 of the *Planning Act 2016* states –
  - (a) Matters that may be appealed to –
    - (i) either a tribunal or the P&E Court; or
    - (ii) only a tribunal; or
    - (iii) only the P&E Court; and
  - (b) The person-
    - (i) who may appeal a matter (**the appellant**); and
    - (ii) who is a respondent in an appeal of the matter; and
    - (iii) who is a co-respondent in an appeal of the matter; and
    - (iv) who may elect to be a co-respondent in an appeal of the matter.

(Refer to Schedule 1 of the Planning Act 2016)

- (2) An appellant may start an appeal within the appeal period.
- (3) The **appeal period** is –
  - (a) for an appeal by a building advisory agency – 10 business days after a decision notice for the decision is given to the agency; or
  - (b) for an appeal against a deemed refusal – at any time after the deemed refusal happens; or
  - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises – 20 business days after a notice is published under section 269(3)(a) or (4); or
  - (d) for an appeal against an infrastructure charges notice – 20 business days after the infrastructure charges notice is given to the person; or
  - (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given – 30 business days after the applicant gives the deemed approval notice to the assessment manager; or
  - (f) for any other appeal – 20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

*Note –*

*See the P&E Court Act for the court's power to extend the appeal period.*

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.
- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt. It is declared that an appeal against an infrastructure charges notice must not be about-
  - (a) the adopted charge itself; or
  - (b) for a decision about an offset or refund-
    - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
    - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

##### 230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that-
  - (a) is in the approved form; and
  - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar must, within the service period, give a copy of the notice of appeal to –
  - (a) the respondent for the appeal ; and
  - (b) each co-respondent for the appeal; and

- (c) for an appeal about a development application under schedule 1, table 1, item 1 – each principal submitter for the development application; and
  - (d) for an appeal about a change application under schedule 1, table 1, item 2 – each principal submitter for the change application; and
  - (e) each person who may elect to become a co-respondent for the appeal, other than an eligible submitter who is not a principal submitter in an appeal under paragraph (c) or (d); and
  - (f) for an appeal to the P&E Court – the chief executive; and
  - (g) for an appeal to a tribunal under another Act – any other person who the registrar considers appropriate.
- (4) The **service period** is –
    - (a) if a submitter or advice agency started the appeal in the P&E Court – 2 business days after the appeal has started; or
    - (b) otherwise – 10 business days after the appeal is started.
  - (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
  - (6) A person elects to be a co-respondent by filing a notice of election, in the approved form, within 10 business days after the notice of appeal is given to the person.

##### 231 Other appeals

- (1) Subject to this chapter, schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.
- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section –  
**decision** includes-
  - (a) conduct engaged in for the purpose of making a decision; and
  - (b) other conduct that relates to the making of a decision; and
  - (c) the making of a decision or failure to make a decision; and
  - (d) a purported decision ; and
  - (e) a deemed refusal.**non-appealable**, for a decision or matter, means the decision or matter-
  - (a) is final and conclusive; and
  - (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, a tribunal or another entity; and
  - (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, a tribunal or another entity on any ground.

##### 232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal. However, the P&E Court may hear and decide an appeal even if the person has not complied with the rules of the P&E Court.