



SOUTH BURNETT
REGIONAL COUNCIL

Officer: Planning Administration
Direct Telephone: 07 4189 9100
Our Reference: OPW23/0007

13 July 2023

Blackbutt Rural Developments
C/- RMA Engineers Pty Ltd
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TOOWOOMBA QLD 4350

South Burnett Regional Council

ABN 89 972 463 351

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Kingaroy QLD 4610

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Dear Sir/Madam

Decision Notice

Planning Act 2016

I refer to your application and advise that on 07 July 2023, Council decided to approve the application in full subject to conditions.

Details of the decision are as follows:

APPLICATION DETAILS

Application No: OPW23/0007
Street Address: Oliver Road NANANGO QLD 4615
Real Property Description: Lot 33 on RP811870
Planning Scheme: South Burnett Regional Council

DECISION DETAILS

Type of Decision: Approval
Type of Approval: Development Permit for Operational Works (Proposal)
Date of Decision: 07 July 2023

CURRENCY PERIOD OF APPROVAL

The currency period for this development approval is two (2) years starting the day that this development approval takes effect. (Refer to Section 85 "Lapsing of approval at end of currency period" of the *Planning Act 2016*.)

INFRASTRUCTURE

Not Applicable.

ASSESSMENT MANAGER CONDITIONS

GENERAL

- ENG1. Compliance with the approved plans (refer condition ENG54), approval conditions, all Council Planning Scheme Policies and Planning and Environment Court Order No 2275 of 2018 dated 31 July 2019, for Reconfiguration of Lot 33 on RP811870.
- ENG2. This approval extends to Engineering works (Earthworks, Roadworks, Stormwater, and Accesses) as detailed, and is conditional upon a set of "Issued for Construction" drawings, amended if required by the conditions of this approval, being submitted to Council for endorsement, prior to pre-start meeting.
- ENG3. Undertake all approved works and works required by conditions of this development approval at no cost to Council.
- ENG4. Submit to Council, electrical underground power and street lighting plans certified by a suitably qualified Engineer (RPEQ – Electrical) for approval, prior to Council's endorsement of the Plan of Survey. Be responsible to check and ensure that electrical drawings do not conflict with the civil engineering design.
- ENG5. Submit to Council for approval, an Inspection and Test Plan certified by a suitably qualified Engineer (RPEQ – Civil) prior to commencement of any work and prior to any pre-start meeting.
- ENG6. Pay to Council, inspection fees based on Council's Fees and Charges current at the time of commencement of works and based on the estimated project cost as estimated or accepted by Council prior to the pre-start meeting.
- ENG7. Ensure that supervision of all construction works are carried out by a suitably qualified and experienced Engineer (RPEQ).
- ENG8. Adhere to the following hours of construction unless otherwise approved in writing by Council:
- | | | |
|-----------------------------|------------------|--------------------|
| Monday to Saturday: | 6.30am to 6.30pm | Noise permitted |
| Monday to Sunday: | 6.30pm to 6.30am | No noise permitted |
| Sunday and Public Holidays: | | No noise permitted |
- Do not conduct work or business that causes audible noise from or on the site outside the above hours.
- ENG9. Be responsible to carry out Work Health and Safety legislative requirements.
- ENG10. Ensure all work sites are maintained in a clean, orderly state at all times.
- ENG11. Manage all waste in accordance with the relevant legislation and regulations and dispose of regulated waste at a licensed facility of South Burnett Regional Council by a licensed regulated waste disposal contractor.
- ENG12. Be responsible for the location and protection of any Council and public utility services infrastructure and assets that may be impacted on during construction of the development.

- ENG13. Repair all damages incurred to Council and public utility services infrastructure and assets, as a result of the proposed development, immediately should hazards exist for public health and safety or vehicular safety. Otherwise, repair all damage immediately upon completion of works associated with the development.
- ENG14. Submit to Council, a Certification from a suitably qualified Engineer (RPEQ) that the works have been undertaken in accordance with the approved plans and specifications and to Council's requirements, prior to Council's endorsement of the Plan of Survey.
- ENG15. Works are to be constructed generally in accordance with the specification requirements outlined in Aus-Spec #1 and the IPWEAQ Standard Drawings unless otherwise approved by South Burnett Regional Council.

DESIGN UPDATES

- ENG16. The following updates to the plans are required, and shall be approved by Council prior to a prestart meeting:
- (a) A temporary gravel turnaround shall be designed and constructed to accommodate a Waste Collection Vehicle at the end of Lynch Drive (refer RMA drawing C-R0301 Rev 0). An easement shall be placed over the balance lot for the area required for the temporary turnaround;
 - (b) Lynch Drive: The broken back curve at Ch25 to Ch260 shall be removed, and new horizontal alignment designed;
 - (c) Hannaford Court: The broken back curve at Ch40 to Ch100 shall be removed, and new horizontal alignment designed;

Comment: The lot boundaries can be slightly altered to accommodate an improved road alignment, provided the lots are still generally in accordance with the approved lot layout.

ROADWORKS

- ENG17. Base gravel is to be Type 3, Subtype 2 material unless otherwise approved by Council. Provide recently undertaken compliance testing from the stockpile used for the project for materials from non-certified Quarries by Council.
- ENG18. Sub-base gravel is to be Type 3, Subtype 4 material, unless otherwise approved by Council, or a natural ridge gravel where approved by Council. Provide recently undertaken compliance testing from the stockpile used for the project for materials from Quarries non-certified by Council.
- ENG19. The bitumen seal shall comprise a prime, and Double/Double seal, designed in accordance with Austroads Guide to Pavement Technology Part 4K.
- ENG20. Provide temporary signage and traffic control for construction in dedicated road reserves in accordance with Part 3 (Works on Roads) of Manual of Uniform Traffic Control Devices (MUTCD) - Department of Transport and Main Roads.
- ENG21. Install and/or modify all street signs and line marking to suit the new works in accordance with the MUTCD. Install new or relocated signage using V-Lok installation system. All new signage shall be Class 1 retro-reflective material to AS1743.
- ENG22. Submit to Council for approval, a Traffic Management Plan prior to commencement of any works involving closing of Council roads or working on or adjacent to existing roads.
- ENG23. The Traffic Management Plan and Work Method Statements in accordance with the *Work Health and Safety Act 2011* requirements shall be maintained on-site at all times.

STORMWATER

- ENG24. Ensure that earthworks and fill on the subject land do not lead to ponding of stormwater or actionable nuisance and ensure all lots, both internal and adjoining, drain freely to a lawful point of discharge in accordance with the Queensland Urban Drainage Manual.
- ENG25. Do not concentrate stormwater onto adjoining properties.
- ENG26. Provide appropriate energy dissipation and scour protection measures at stormwater outlets.
- ENG27. Stormwater management shall be in accordance with RMA Stormwater Management Plan "Subdivision – Oliver Road – Nanango" dated 24 June 2022.

DEVELOPMENT WORKS

- ENG28. Maintain erosion and sedimentation controls at all times during the course of the project and the ensuing defects liability period. Council Officers will inspect and assess the sediment and erosion control measures and temporary fencing implemented, and any alterations and/or supplementary works required must be incorporated.
- ENG29. Implement measures to prevent site vehicles tracking sediment and other pollutants from the site onto adjoining streets during the course of the project, and to prevent dust nuisance during construction and the ensuing defects liability period.
- ENG30. Be responsible for protecting nearby property owners from dust pollution arising from construction and maintenance of the works required by this approval, and comply with any lawful instructions from the Assessment Manager if, in his opinion, a dust nuisance exists.
- ENG31. Adjust all access chamber surface levels to provide a freeboard of 100mm above the finished ground surface level, where the work involves excavation or filling over, or adjacent to water supply, sewerage or gas infrastructure. Be responsible for all costs associated with the adjustment of the chamber levels and the works to be undertaken by Council on a Private Works Quotation basis.
- ENG32. Waste material as a result of demolition work and excavation work must not be used as fill as described within the *Waste Reduction and Recycling Act 2011*.

EARTHWORKS

- ENG33. Supervise bulk earthworks to Level 1 or Level 2 as applicable and have a frequency of field density testing carried out in accordance with Table 8.1 of AS3798.
- ENG34. Contain cut or fill batters wholly within the subject land. Do not place fill on adjacent properties without providing Council with written permission from the respective property owner(s).
- ENG35. Do not store plant or material on adjoining lands without written permission from the respective property owner(s).
- ENG36. Do not use contaminated material as fill on the site. Undertake any filling using inert materials only, with a maximum particle size of 75mm.
- ENG37. Ensure open drains and fill platforms are constructed with a longitudinal grade on no less than 0.1%.

- ENG38. Submit to Council, the following for approval in the event it is proposed to import material to or export material from the site, prior to commencement of the work:
- (d) details of the location of any material to be sourced for fill including the volume of fill to be moved from any particular source site;
 - (e) details of the final location for any material to be exported from the site from excavations including the volume to be moved to any particular site; and
 - (f) the proposed haulage route(s) and truck sizes for carting of the material.

Note: Further Development Applications may be required to be submitted to and approved by Council for sites proposed to import material from or export material to, or conditions may be applied to any sites endorsed in accordance with this condition, e.g., submit a Traffic Management Plan to Council for acceptance, or rehabilitation of the site. Any required approvals are to be in place prior to commencement of the work.

This approval does not extend to any material proposed to be imported to or exported from the site:

- (g) other than from or to site(s) that have a current Development Approval enabling them to export/accept any material; or
- (h) the material is being exported to and accepted at a licensed Council refuse facility.

INSPECTIONS AND TESTING

- ENG39. Submit to Council the pre-start meeting agenda at the confirmation of a date and time for the meeting.
- ENG40. Provide Council with a minimum of two clear working days' notice to undertake compulsory inspections and meetings at the following stages:
- (i) Pre-start meeting with Council, Contractor, Supervising Engineer and developer;
 - (b) Stormwater:
 - (i) prior to backfilling of any stormwater drainage works; and
 - (ii) at the time of CCTV inspection to facilitate Council's acceptance of the works on and off-maintenance;
 - (c) Structural steel inspection prior to pouring of any structural concrete including cast in-situ stormwater manholes and gully pits;
 - (d) prior to back filling road crossings;
 - (e) following preparation and compaction of road sub-grade;
 - (f) following placement and compaction of each road pavement layer and prior to laying of the next pavement layer or surfacing layer;
 - (g) of the finished pavement surface prior to any bitumen primer-seal or prime or asphalt surfacing;
 - (h) at the point of completion of all works before placing on-maintenance; and
 - (i) at the point of requesting Council to accept the works off-maintenance.
- ENG41. Submit to Council, all inspection and test data in its entirety prepared by the applicant, Engineer, Principal Contractor or by Subcontractors in relation to the Operational Work or as described in the application prior to Council's endorsement of the Survey Plan. Undertake any further inspection, testing or analysis required, due to failure of work to meet specifications or where the testing previously provided is considered insufficient on behalf of the Principal Contractor by a NATA accredited entity (where applicable).
- ENG42. Uncover all works covered prior to inspection to allow inspection by Council at Council's sole discretion.

- ENG43. Allow Council to enter a work site to which this approval relates and undertake testing or analysis of any part of the construction, and Council is not liable for the rectification of or compensation for any damage caused in the testing or analysis process. Should work be found to be not constructed to specification or of poor quality, any reasonable instruction given by Council Officers must be considered to be a condition of approval and undertaken by the Principal Contractor.
- ENG44. Where complete or incomplete works under this approval adversely affect adjoining properties, Council land, roads or other infrastructure, Council requires by notice, works to be completed.
- ENG45. Undertake any works for the safety or health of the community or protection of infrastructure where Council deems it necessary.

MAINTENANCE

- ENG46. Submit to Council, a written request to place constructed works on-maintenance or off-maintenance from the developer's certifying Engineer stating that all approved works have been completed and are ready for Council inspection.
- ENG47. Pay to Council, a maintenance bond of 5% of the cost of the operational work as estimated or accepted by Council, prior to commencement of the on-maintenance period.
- ENG48. Maintenance bond must be provided in the form of a cash bond or a bank guarantee.
- ENG49. Maintain all works that will become Council infrastructure for a period of 12 months (maintenance period) from commencement of the on-maintenance period. Undertake any necessary maintenance or repairs to non-conforming work, defects and/or damage to any works undertaken in relation to this approval, even where damage has resulted from a third-party activity within the maintenance period.
- ENG50. The maintenance bond will be entirely forfeited to Council should there be any failure by the applicant to undertake any such works considered by Council as necessary, to rectify any non-compliant works and to protect public safety. In the event that the bond is insufficient to address the non-compliant works, Council reserves the right to seek restitution. After expiration of the maintenance period and where required maintenance is suitably undertaken to Council's satisfaction, the bond will be returned accordingly, after the project is accepted off-maintenance.
- ENG51. The on-maintenance period commences only when Council provides written confirmation that all of the following are completed:
- (j) satisfactory completion of all works and conditions of Operational Work approval including associated Reconfiguring a Lot approval;
 - (k) provision of all necessary test and quality audit requirements;
 - (l) lodgement with Council, of certification from an RPEQ that the works have been undertaken in accordance with the approved plans and specifications and to Council's requirements;
 - (m) lodgement of a maintenance bond of 5% of the cost of the operational work as accepted by Council;
 - (n) submission of "*As Constructed*" data in the required format; and

AS CONSTRUCTED INFORMATION

ENG52. Submit to Council within 10 working days of completion of the operational work, suitable "As Constructed" drawings in hard copy and AutoCAD format and on GDA Zone 56 co-ordinates. The "As Constructed" drawings or data capture methods as required by Council must be certified by a Registered Professional Engineer of Queensland (RPEQ) on every drawing and shall be to an appropriate electronic format and standard as required by Council's Infrastructure Services General Manager.

ENG53. Provide "As Constructed" data for the following elements, where applicable:

- (o) Roadworks;
- (p) Stormwater drainage;
- (q) Electrical and Lighting network.

APPROVED PLANS

ENG54. The approval is subject to construction being undertaken in accordance with the Approved Plans prepared by RMA Engineers as listed below:

Drawing Number	Rev	Drawing Title	Date
C-G0101	0	General layout and drawing index plan	30/03/2023
C-G0102	0	Project notes	30/03/2023
C-G0201	0	Survey Setout and existing features plan	30/03/2023
C-G0301	0	Combined services master plan	30/03/2023
C-G0401	0	Easement plan	30/03/2023
C-G0501	0	Staging plan	30/03/2023
C-R0101	0	Roadworks and footpath notes and standard details	30/03/2023
C-R0102	0	Driveway typical details	30/03/2023
C-R0103	0	Typical road cross sections	30/03/2023
C-R0201	0	Pavement design plan	30/03/2023
C-R0300	0	Road control line Setout tables	30/03/2023
C-R0301	0	Lynch drive layout plan longitudinal section	30/03/2023
C-R0302	0	Lynch Drive cross sections	30/03/2023
C-R0303	0	Hannaford Court layout plan and longitudinal section	30/03/2023
C-R0304	0	Hannaford court cross sections - 1	30/03/2023
C-R0305	0	Hannaford court cross sections – 2	30/03/2023
C-R0306	0	Driveway 1 Layout plan and longitudinal section	30/03/2023
C-R0307	0	Driveway 1 cross sections	30/03/2023
C-R0400	0	Intersection Setout coordinates	30/03/2023
C-R0401	0	Intersection layout plan – 1	30/03/2023
C-D0101	0	Stormwater notes and standard details	30/03/2023
C-D0201	0	Stormwater catchment plan	30/03/2023
C-D0501	0	Stormwater longitudinal sections	30/03/2023
C-D0701	0	Stormwater calculation Tables – 1	30/03/2023
C-D0702	0	Stormwater calculation Tables – 2	30/03/2023
C-E0101	0	Bulk earthworks notes and standard details	30/03/2023
C-E0201	0	Cut to fill extent layout plan	30/03/2023
C-E0801	0	Erosion and sediment control notes and details	30/03/2023
C-E0901	0	Erosion and sediment control layout plan	30/03/2023
C-C0101	0	Open channel notes and standard details	30/03/2023
C-C0201	0	Open channel 1 layout plan and longitudinal section	30/03/2023
C-C0202	0	Open channel 1 cross sections	30/03/2023
C-C0203	0	Open channel 2 layout plan and longitudinal section – 1	30/03/2023
C-C0204	0	Open channel 2 layout plan and longitudinal section – 2	30/03/2023

C-C0205	0	Open channel 2 cross sections – 1	30/03/2023
C-C0206	0	Open channel 2 cross sections – 2	30/03/2023
C-C0207	0	Open channel 2 cross sections – 3	30/03/2023
C-C0208	0	Open channel 2 cross sections – 4	30/03/2023
C-C0209	0	Open channel 2 cross sections – 5	30/03/2023
C-C0210	0	Open channel 2 cross sections – 6	30/03/2023

REFERRAL AGENCIES

Not Applicable.

APPROVED PLANS

The following plans are Approved plans for the development:

Approved Plans

Plan No.	Rev.	Plan Name	Date
C-G0101	0	<i>General layout and drawing index plan</i> , prepared by RMA Engineers	30/03/2023
C-G0102	0	<i>Project notes</i> , prepared by RMA Engineers	30/03/2023
C-G0201	0	<i>Survey Setout and existing features plan</i> , prepared by RMA Engineers	30/03/2023
C-G0301	0	<i>Combined services master plan</i> , prepared by RMA Engineers	30/03/2023
C-G0401	0	<i>Easement plan</i> , prepared by RMA Engineers	30/03/2023
C-G0501	0	<i>Staging plan</i> , prepared by RMA Engineers	30/03/2023
C-R0101	0	<i>Roadworks and footpath notes and standard details</i> , prepared by RMA Engineers	30/03/2023
C-R0102	0	<i>Driveway typical details</i> , prepared by RMA Engineers	30/03/2023
C-R0103	0	<i>Typical road cross sections</i> , prepared by RMA Engineers	30/03/2023
C-R0201	0	<i>Pavement design plan</i> , prepared by RMA Engineers	30/03/2023
C-R0300	0	<i>Road control line Setout tables</i> , prepared by RMA Engineers	30/03/2023
C-R0301	0	<i>Lynch drive layout plan longitudinal section</i> , prepared by RMA Engineers	30/03/2023
C-R0302	0	<i>Lynch Drive cross sections</i> , prepared by RMA Engineers	30/03/2023
C-R0303	0	<i>Hannaford Court layout plan and longitudinal section</i> , prepared by RMA Engineers	30/03/2023
C-R0304	0	<i>Hannaford court cross sections - 1</i> , prepared by RMA Engineers	30/03/2023
C-R0305	0	<i>Hannaford court cross sections – 2</i> , prepared by RMA Engineers	30/03/2023
C-R0306	0	<i>Driveway 1 Layout plan and longitudinal section</i> , prepared by RMA Engineers	30/03/2023
C-R0307	0	<i>Driveway 1 cross sections</i> , prepared by RMA Engineers	30/03/2023
C-R0400	0	<i>Intersection Setout coordinates</i> , prepared by RMA Engineers	30/03/2023
C-R0401	0	<i>Intersection layout plan – 1</i> , prepared by RMA Engineers	30/03/2023
C-D0101	0	<i>Stormwater notes and standard details</i> , prepared by RMA Engineers	30/03/2023
C-D0201	0	<i>Stormwater catchment plan</i> , prepared by RMA Engineers	30/03/2023
C-D0501	0	<i>Stormwater longitudinal sections</i> , prepared by RMA Engineers	30/03/2023

C-D0701	0	<i>Stormwater calculation Tables – 1, prepared by RMA Engineers</i>	30/03/2023
C-D0702	0	<i>Stormwater calculation Tables – 2, prepared by RMA Engineers</i>	30/03/2023
C-E0101	0	<i>Bulk earthworks notes and standard details, prepared by RMA Engineers</i>	30/03/2023
C-E0201	0	<i>Cut to fill extent layout plan, prepared by RMA Engineers</i>	30/03/2023
C-E0801	0	<i>Erosion and sediment control notes and details, prepared by RMA Engineers</i>	30/03/2023
C-E0901	0	<i>Erosion and sediment control layout plan, prepared by RMA Engineers</i>	30/03/2023
C-C0101	0	<i>Open channel notes and standard details, prepared by RMA Engineers</i>	30/03/2023
C-C0201	0	<i>Open channel 1 layout plan and longitudinal section, prepared by RMA Engineers</i>	30/03/2023
C-C0202	0	<i>Open channel 1 cross sections, prepared by RMA Engineers</i>	30/03/2023
C-C0203	0	<i>Open channel 2 layout plan and longitudinal section – 1, prepared by RMA Engineers</i>	30/03/2023
C-C0204	0	<i>Open channel 2 layout plan and longitudinal section – 2, prepared by RMA Engineers</i>	30/03/2023
C-C0205	0	<i>Open channel 2 cross sections – 1, prepared by RMA Engineers</i>	30/03/2023
C-C0206	0	<i>Open channel 2 cross sections – 2, prepared by RMA Engineers</i>	30/03/2023
C-C0207	0	<i>Open channel 2 cross sections – 3, prepared by RMA Engineers</i>	30/03/2023
C-C0208	0	<i>Open channel 2 cross sections – 4, prepared by RMA Engineers</i>	30/03/2023
C-C0209	0	<i>Open channel 2 cross sections – 5, prepared by RMA Engineers</i>	30/03/2023
C-C0210	0	<i>Open channel 2 cross sections – 6, prepared by RMA Engineers</i>	30/03/2023

REFERENCED DOCUMENTS

Not Applicable.

ADVISORY NOTES

The following notes are included for guidance and information purposes only and do not form part of the assessment manager conditions:

ADVICE NOTES

ADV1. The applicant be advised that:

ADV2. Prior to commencement of the use or endorsement of the survey plan as applicable, the applicant shall contact Council to arrange a Development Compliance Inspection.

ADV3. The applicant must ensure compliance with environmental conditions whether required to hold an Environmental Authority or not. These include, but are not limited to water quality, air quality, noise levels, waste waters, lighting and visual quality as a result of any activity or by-product or storage of materials within the confines of the building(s) and property boundaries.

- i. Any amendment, alteration or addition to the development approval will require further consideration by Council in assessing any changes to the environmental conditions.
- ADV4. The *Aboriginal Cultural Heritage Act 2003* (ACHA) is administered by the Department of Aboriginal and Torres Strait Islander and Multicultural Affairs (DATSIMA). The ACHA establishes a duty of care to take all reasonable and practicable measures to ensure any activity does not harm Aboriginal cultural heritage. This duty of care:
- ii. is not negated by the issuing of this development approval;
 - iii. applies on all land and water, including freehold land;
 - iv. lies with the person or entity conducting an activity; and
 - v. if breached, is subject to criminal offence penalties.
 - vi. Those proposing an activity involving surface disturbance beyond that which has already occurred at the proposed site must observe this duty of care. Details of how to fulfil this duty of care are outlined in the duty of care guidelines gazetted with the ACHA. The applicant should contact DATSIP's Cultural Heritage Co-ordination Unit on telephone (07) 3224 2070 for further information on the responsibilities of developers under the ACHA.
- ADV5. The **relevant period** for the development approval (Operational Work) shall be **two (2) years** starting the day the approval is granted or takes effect. In accordance with Section 85(1)(c) of the *Planning Act 2016* (PA), the development approval for Operational Work lapses if the development does not substantially start within the abovementioned **relevant period**.
- An applicant may request Council to extend the **relevant period** provided that such request is made in accordance with Section 86 of PA and before the development approval lapses under Section 85 of the PA.
- ADV6. Council is to be indemnified against any claims arising from works carried out by the applicant on Council's property.
- ADV7. The relevant Planning Scheme for this Development Permit is the South Burnett Regional Council Planning Scheme 2017. All references to the Planning Scheme and Schedules within these conditions refer to the above Planning Scheme.

PROPERTY NOTES

Not Applicable.

VARIATION APPROVAL

Not Applicable.

FURTHER DEVELOPMENT PERMITS REQUIRED

Not Applicable.

RIGHTS OF APPEAL

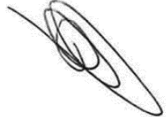
You are entitled to appeal against this decision. A copy of the relevant appeal provisions from the *Planning Act 2016* is attached.

During the appeal period, you as the applicant may suspend your appeal period and make written representations to council about the conditions contained within the development approval. If council agrees or agrees in part with the representations, a “negotiated decision notice” will be issued. Only one “negotiated decision notice” may be given. Taking this step will defer your appeal period, which will commence again from the start the day after you receive a “negotiated decision notice”.

OTHER DETAILS

If you wish to obtain more information about Council’s decision, electronic copies are available online at www.southburnett.qld.gov.au, or at Council Offices.

Yours faithfully



DARRYL BROOKS
MANAGER ENVIRONMENT & PLANNING

Enc: Approved Plans
 Appeal Rights



GENERAL LAYOUT AND DRAWING INDEX PLAN
Scale 1:2500 (A1)

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Journal of Internal Medicine 255: 281–291

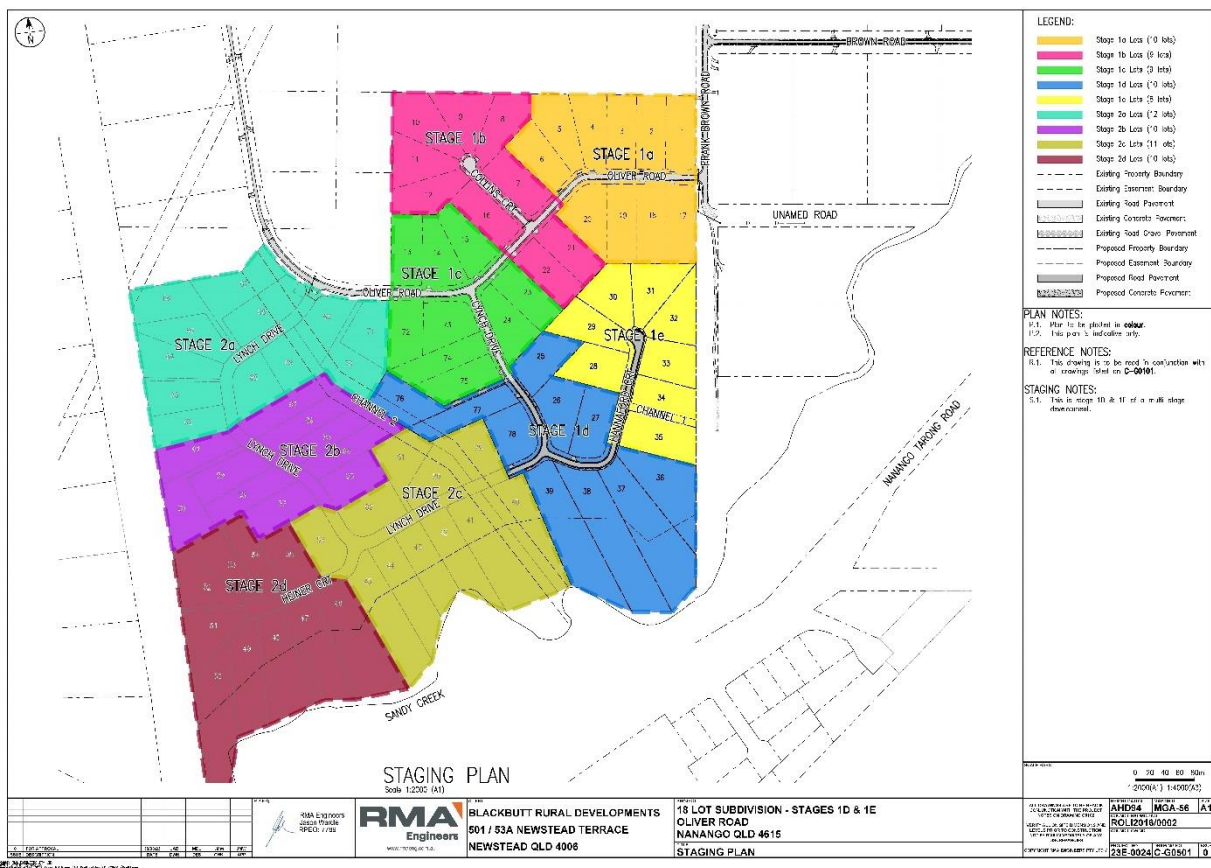
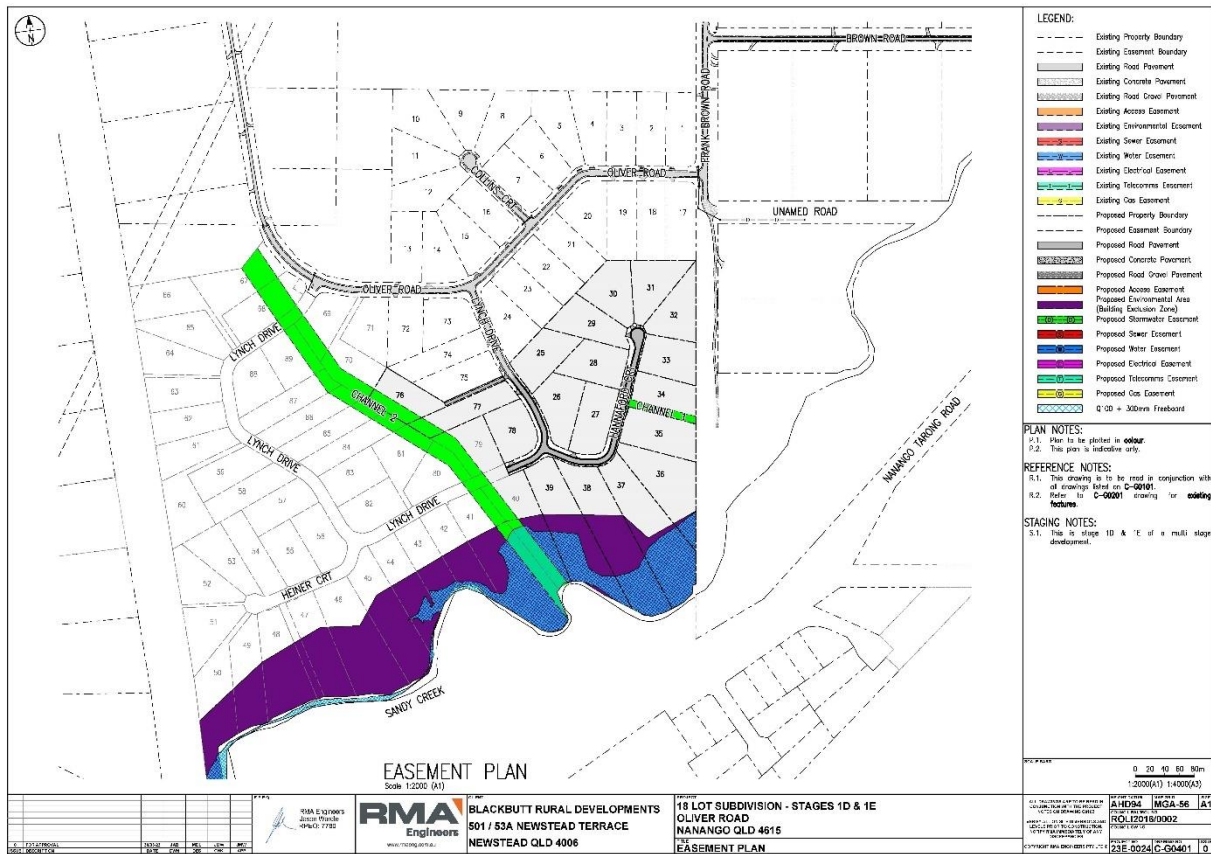
D.1. In these notes, the term "Supervisor" is used to refer to the person responsible for the administration of the program.

- [illegible]

the relevant asset owner. The Contractor shall obtain any necessary approvals prior to commencing construction.

Experiment 1	Experiment 2	Experiment 3	Experiment 4	Experiment 5	Experiment 6	Experiment 7	Experiment 8	Experiment 9	Experiment 10	Experiment 11	Experiment 12	Experiment 13	Experiment 14	Experiment 15	Experiment 16	Experiment 17	Experiment 18	Experiment 19	Experiment 20	Experiment 21	Experiment 22	Experiment 23	Experiment 24	Experiment 25	Experiment 26	Experiment 27	Experiment 28	Experiment 29	Experiment 30	Experiment 31	Experiment 32	Experiment 33	Experiment 34	Experiment 35	Experiment 36	Experiment 37	Experiment 38	Experiment 39	Experiment 40	Experiment 41	Experiment 42	Experiment 43	Experiment 44	Experiment 45	Experiment 46	Experiment 47	Experiment 48	Experiment 49	Experiment 50	Experiment 51	Experiment 52	Experiment 53	Experiment 54	Experiment 55	Experiment 56	Experiment 57	Experiment 58	Experiment 59	Experiment 60	Experiment 61	Experiment 62	Experiment 63	Experiment 64	Experiment 65	Experiment 66	Experiment 67	Experiment 68	Experiment 69	Experiment 70	Experiment 71	Experiment 72	Experiment 73	Experiment 74	Experiment 75	Experiment 76	Experiment 77	Experiment 78	Experiment 79	Experiment 80	Experiment 81	Experiment 82	Experiment 83	Experiment 84	Experiment 85	Experiment 86	Experiment 87	Experiment 88	Experiment 89	Experiment 90	Experiment 91	Experiment 92	Experiment 93	Experiment 94	Experiment 95	Experiment 96	Experiment 97	Experiment 98	Experiment 99	Experiment 100
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CONTINUATION OF THE PREVIOUS
VEHICLE OR DRIVING CARD | REPORT NUMBER
AHD94 | REPORT NO.
MGA-56 | P.P.
A1 |
| APPROX. DATE OF INCIDENT
DATE OF THE VIOLATION
VEHICLE REGISTRATION YEAR AND DATE
OF EXPIRATION | REPORTING OFFICE
ROL12018/D002
(OFFICE USE ONLY) | | |
| CYPRIOT RAIL CROSSING PERMIT NO. | POLICE NO. | INSURANCE NO. | ZIP |
| | 23E-0024 | C-G0102 | 0 |



ROADWORKS AND FOOTPATH NOTES

GENERAL

- G.1. This drawing is to be read in conjunction with Project Notes on drawing C-010/02.
- G.2. It is the Contractor's responsibility to ensure that all work is done in accordance with the requirements of the relevant standards and specifications.

ROADWORKS

- R.1. Refer to the appropriate pavement design table on the pavement design plan for the proposed road and/or footpath.
- R.2. All road pavements shall be constructed to a minimum of 100mm below the level of the kerb and channel, and a minimum of 100mm below the level of the footpath.
- R.3. Footpaths shall be constructed to a minimum of 100mm below the level of the kerb and channel.
- R.4. Typically, all new pavements shall be installed in accordance with the relevant standards and specifications.
- R.5. Where full depth repair is required, the Contractor shall ensure that the levels are restored to the original levels and the surrounding area.

SUBGRADE

- S.1. Subgrade material shall be compacted to 95% standard compaction and shall meet the requirements of AS 2793.
- S.2. Any poor quality subgrade material shall be removed and replaced with a suitable replacement material. The Contractor must gain approval from the Certifying Engineer prior to commencing the work.
- S.3. The use of aggregate subgrade material is not permitted without the prior approval from the Certifying Engineer and the relevant authority.

ASPHALT GRANULAR PAVEMENT

- A.1. Refer to the relevant pavement design table on the pavement design plan for the proposed road and/or footpath.
- A.2. The Contractor shall ensure that the subgrade is compacted to 95% standard compaction and shall meet the requirements of AS 2793.
- A.3. The Contractor shall ensure that the subgrade is compacted to 95% standard compaction and shall meet the requirements of AS 2793.
- A.4. The Contractor shall ensure that the subgrade is compacted to 95% standard compaction and shall meet the requirements of AS 2793.
- A.5. The Contractor shall ensure that the subgrade is compacted to 95% standard compaction and shall meet the requirements of AS 2793.

SUBSOIL DRAINAGE

- D.1. The requirement for subsoil drainage shall be determined following assessment of the existing subsoil conditions following the layout of the pavement and footpath.
- D.2. If required, subsoil drainage shall be installed in accordance with the relevant standards and specifications.
- D.3. Subsoil drainage shall be installed in accordance with the relevant standards and specifications.
- D.4. Subsoil drainage shall be installed in accordance with the relevant standards and specifications.

CONCRETE PAVEMENT

- C.1. Refer to the concrete pavement design table on the pavement design plan for the proposed road and/or footpath.
- C.2. All workmanship shall be in accordance with AS 3600 as modified by relevant standards and specifications.
- C.3. All reinforcement shall be installed in accordance with the relevant standards and specifications.
- C.4. Reinforcement shall be installed in accordance with the relevant standards and specifications.
- C.5. The Contractor shall ensure that the subgrade is compacted to 95% standard compaction and shall meet the requirements of AS 2793.
- C.6. All new concrete pavements shall be installed in accordance with the relevant standards and specifications.
- C.7. All concrete pavements shall be installed in accordance with the relevant standards and specifications.
- C.8. Concrete shall be cured by keeping the surfaces continuously wet for a period of 7 days and protecting the top of the concrete with a suitable material.
- C.9. Concrete shall not be installed if the weather is forecast to be wet or if the temperature is below 5°C.
- C.10. Project controlling shall be as follows:
 - 100mm x 100mm
 - 200mm x 200mm
 - 300mm x 300mm
 - 400mm x 400mm
 - 500mm x 500mm

PATHWAYS

- P.1. Footpaths and cycle paths shall be constructed in accordance with the relevant standards and specifications.
- P.2. All workmanship shall be in accordance with the relevant standards and specifications.
- P.3. All reinforcement shall be installed in accordance with the relevant standards and specifications.
- P.4. Typically, all new pavements shall be installed in accordance with the relevant standards and specifications.

DRIVEWAYS

- D.1. Driveways shall be constructed in accordance with the relevant standards and specifications.

VERIFICATION

- V.1. Site visits by the Certifying Engineer (minimum mandatory requirements):
 - V.1.1. Prior to construction.
 - V.1.2. Prior to base course and subgrade works.
 - V.1.3. Prior to base course layer.
 - V.1.4. After completion of the prior to placement of concrete.
 - V.1.5. Concrete work prior to placement of concrete.
 - V.1.6. Road widening prior to the start of the road widening.

SIGNAGE AND LINEMARKING NOTES

GENERAL

- G.1. This drawing is to be read in conjunction with Project Notes on drawing C-010/02.
- G.2. It is the Contractor's responsibility to ensure that all work is done in accordance with the requirements of the relevant standards and specifications.

ROAD FURNITURE

LINEMARKING

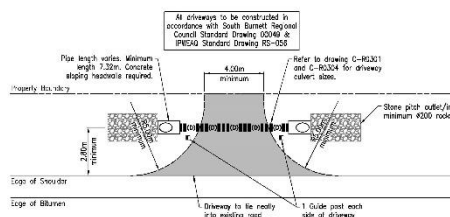
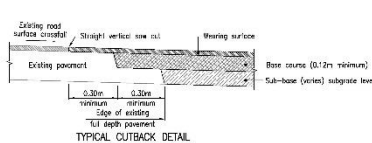
- L.1. Linemarking shall be installed in accordance with the relevant standards and specifications.
- L.2. All linemarking shall comply with the relevant standards and specifications.
- L.3. All linemarking shall comply with the relevant standards and specifications.
- L.4. All linemarking shall comply with the relevant standards and specifications.

SIGNAGE

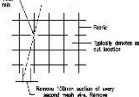
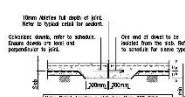
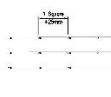
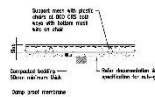
- S.1. The Contractor shall ensure that the subgrade is compacted to 95% standard compaction and shall meet the requirements of AS 2793.
- S.2. The Contractor shall ensure that the subgrade is compacted to 95% standard compaction and shall meet the requirements of AS 2793.
- S.3. The Contractor shall ensure that the subgrade is compacted to 95% standard compaction and shall meet the requirements of AS 2793.
- S.4. The Contractor shall ensure that the subgrade is compacted to 95% standard compaction and shall meet the requirements of AS 2793.

VERIFICATION

- V.1. Site visits by the Certifying Engineer (minimum mandatory requirements):
 - V.1.1. Prior to construction.
 - V.1.2. Prior to base course and subgrade works.
 - V.1.3. Prior to base course layer.
 - V.1.4. After completion of the prior to placement of concrete.
 - V.1.5. Concrete work prior to placement of concrete.
 - V.1.6. Road widening prior to the start of the road widening.

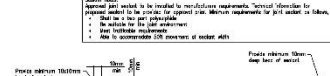


<p>100A E2700000 JUNIOR PROJECT 4040-7782</p>	<p>RMA Engineers www.rma-engineers.com.au</p>	<p>BLACKBUTT RURAL DEVELOPMENTS 501 / 53A NEWSTEAD TERRACE NEWSTEAD QLD 4008</p>	<p>18 LOT SUBDIVISION - STAGES 1D & 1E OLIVER ROAD NANANGO QLD 4615</p> <p>ROADWORKS AND FOOTPATH NOTES AND STANDARD DETAILS</p>	<p>100A E2700000 JUNIOR PROJECT 4040-7782</p> <p>A10004 MGA-56</p> <p>ROL2018/0002</p> <p>23E-5024-C-0101</p>
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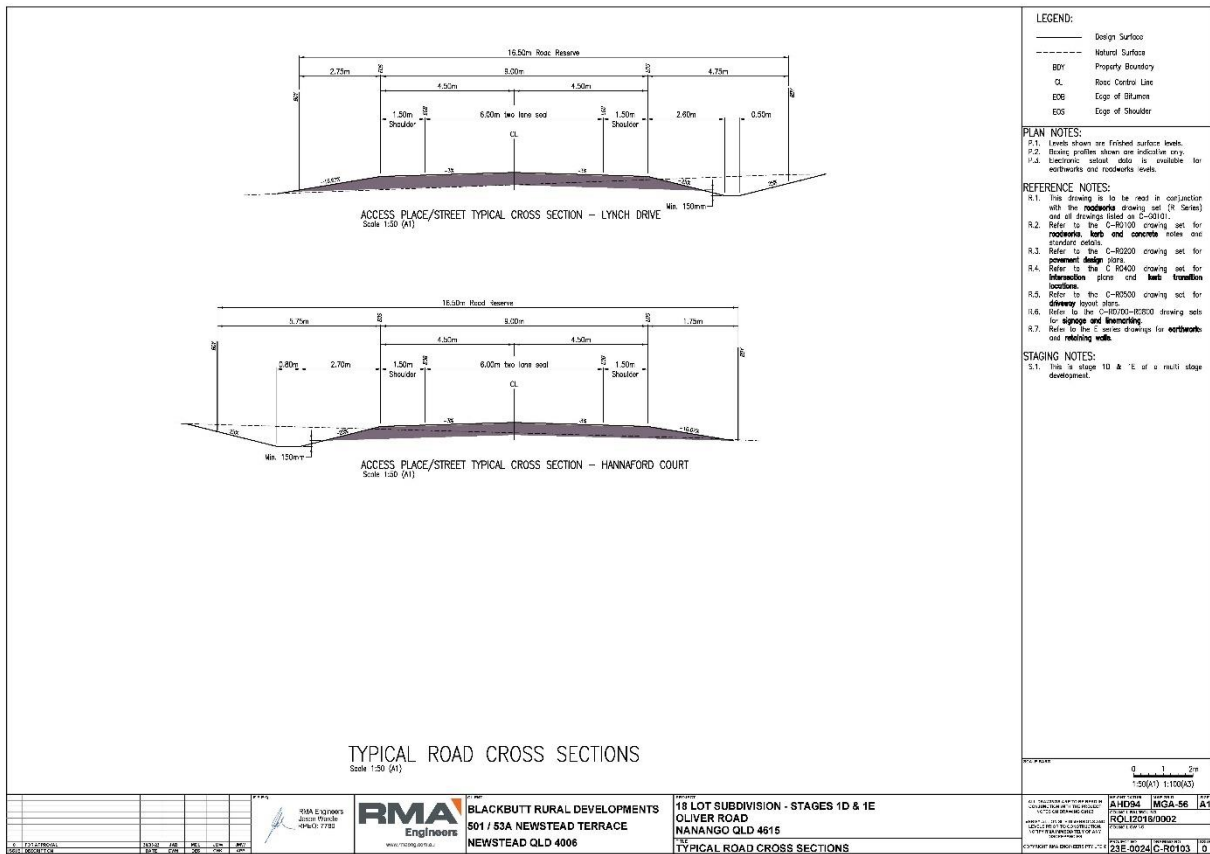
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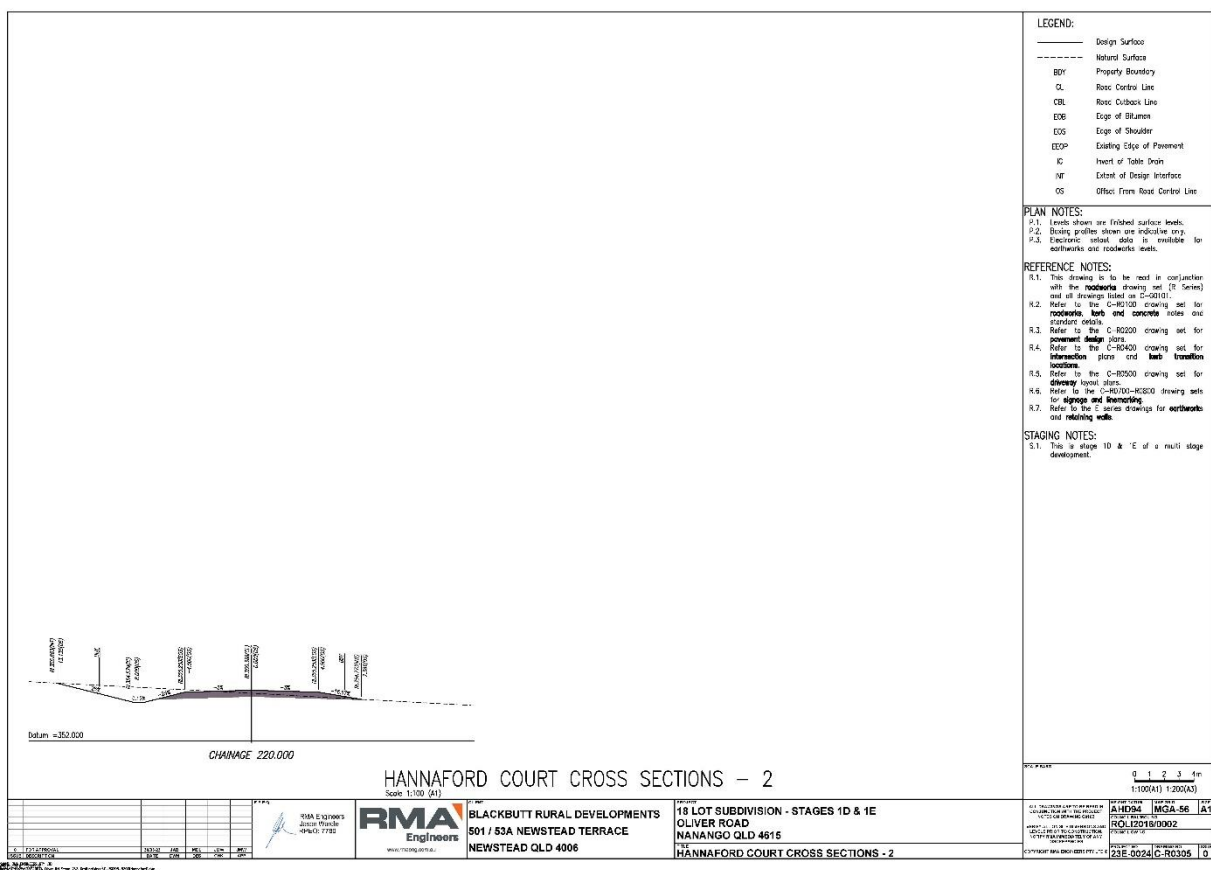
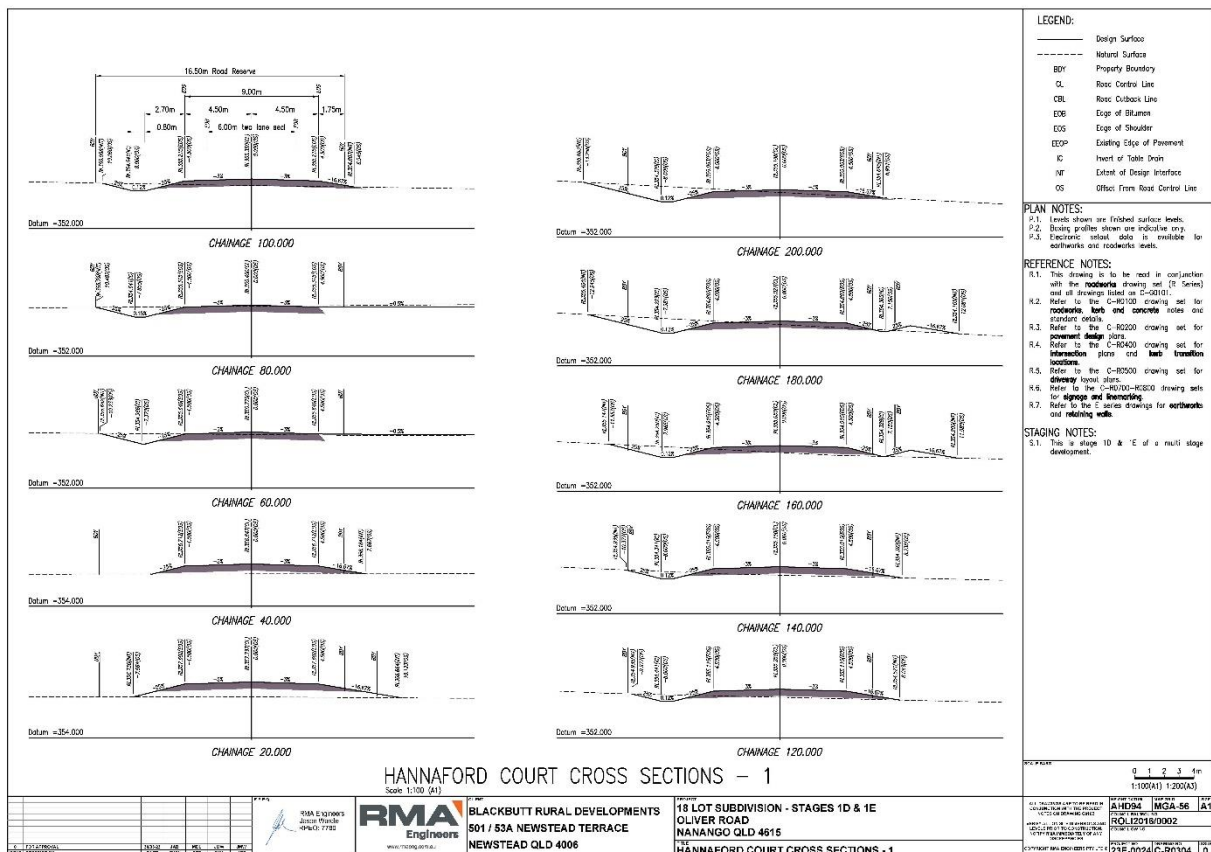


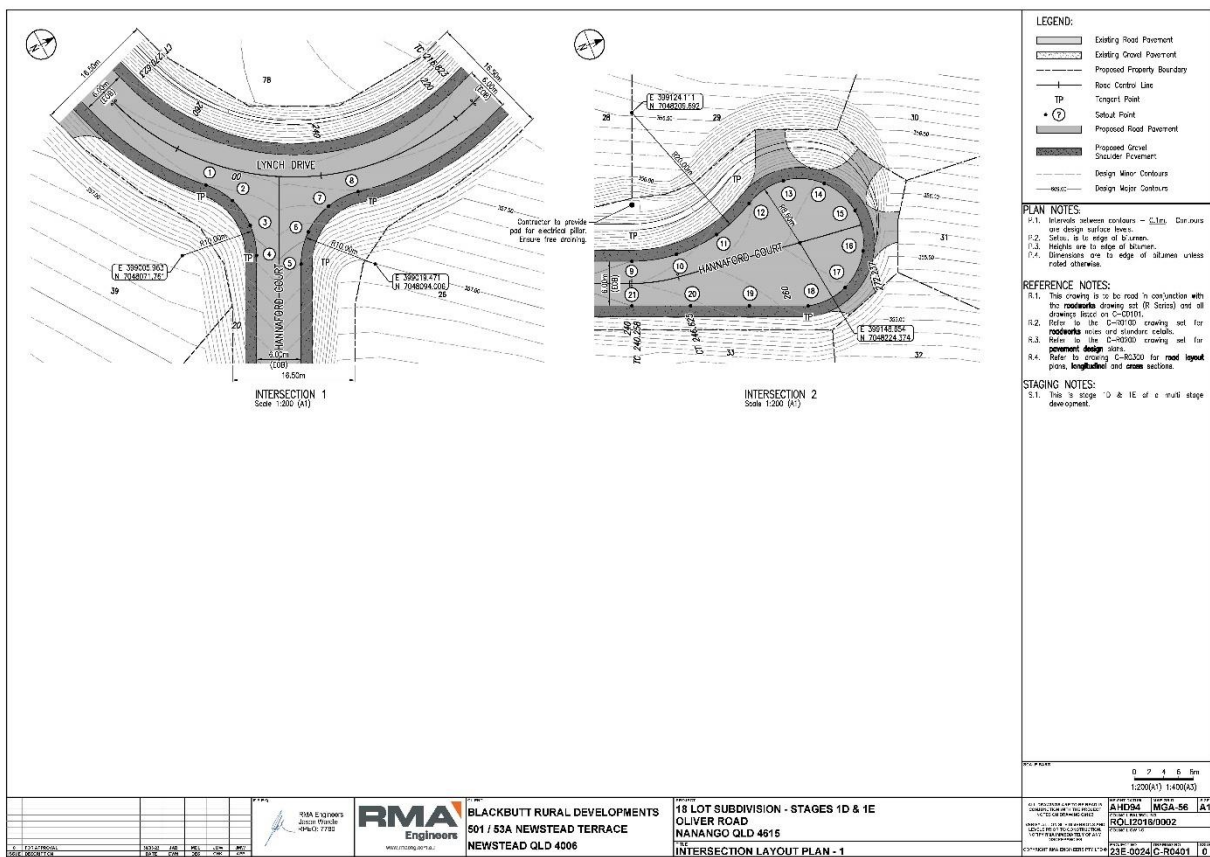
TYPICAL SLAB EDGE ISOLATION DETAILS

<p>100A E2700000 JUNIOR PROJECT 4040-7782</p>	<p>RMA Engineers www.rma-engineers.com.au</p>	<p>BLACKBUTT RURAL DEVELOPMENTS 501 / 53A NEWSTEAD TERRACE NEWSTEAD QLD 4008</p>	<p>18 LOT SUBDIVISION - STAGES 1D & 1E OLIVER ROAD NANANGO QLD 4615</p> <p>DRIVEWAY TYPICAL DETAILS</p>	<p>100A E2700000 JUNIOR PROJECT 4040-7782</p> <p>A10004 MGA-56</p> <p>ROL2018/0002</p> <p>23E-5024-C-0101</p>
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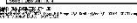






INTERSECTION SETOUT COORDINATES

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GENERAL

G.1. This drawing is to be read in conjunction with Project Notes on drawing C-60'02.

G.2. In some instances a note may not apply and therefore can be ignored. It is the Contractor's responsibility to confirm whether a note applies or not with the Superintendent.

PIPEWORK

P.1. Pipe slabs are filled on the longitudinal section(s).

P.2. The following pipe products can be used for stormwater drainage:

ROAD RESERVE

P.2.a. \leq DN100: Reinforced concrete slabs (2) minimum rubber ring joint pipe.

P.2.b. \geq DN100: Reinforced concrete slabs (2) minimum flush joint pipe with external rubber

JUNCTIONS
GULLY FITS

- J1. Gully inlet type and size are listed on the longitudinal section(s).
- J2. All gully pits are to be "in-pit" unless noted otherwise.
- J3. All gully pits shall be "Florida", "Humes" or "C-V" product; recessed top side inlets with trafficable bike safe grates.
- J4. Gully Holes/grates are to be located on the downstream end of the curb.
- J5. Pit capacities to comply with Q.M. 2036.13c.

J.7. Manhole types and sizes are listed on the longitudinal section(s).

J.8. All manholes within the road reserve shall be DN1300mm precast concrete pits with lift off lids as detailed on IPWEA standard drawing DS-C/3 unless noted otherwise.

J.9. Manholes shall be set out to the centre of pit and offset 1.5m from the property boundary to

- J.10. The junction lids shall be DWR30mm cast iron Type D, rendered fireproof and labelled STORWATER as per IPWEA standard drawing DS-078.
- J.11. Manholes within the road reserve and finish flush with the finished surface level, while inter-embankment manholes with a grade properly and finish 75mm above the finished surface level.
- J.12. Refer to IPWEA standard drawings DS-010, DS-015, DS-020 & DS-021 for installation data.
- J.13. The Contractor shall place 12mm thick steel plate over all junctions during the construction process until hauses and lids arrive and are installed. Alternative options can be used subject to the prior approval of the Certifying Engineer.

CULVERTS

- C.1 Culvert type and sizes are indicated on the layout plans.
- C.2 All culverts, lane slabs, aprons and headwalls shall be installed in accordance with Transport and Main Roads standard drawings.
- C.3 Culvert link slabs (where applicable) shall be installed in accordance with the manufacturer's specifications. The slabs shall accommodate a minimum design loading of 7.

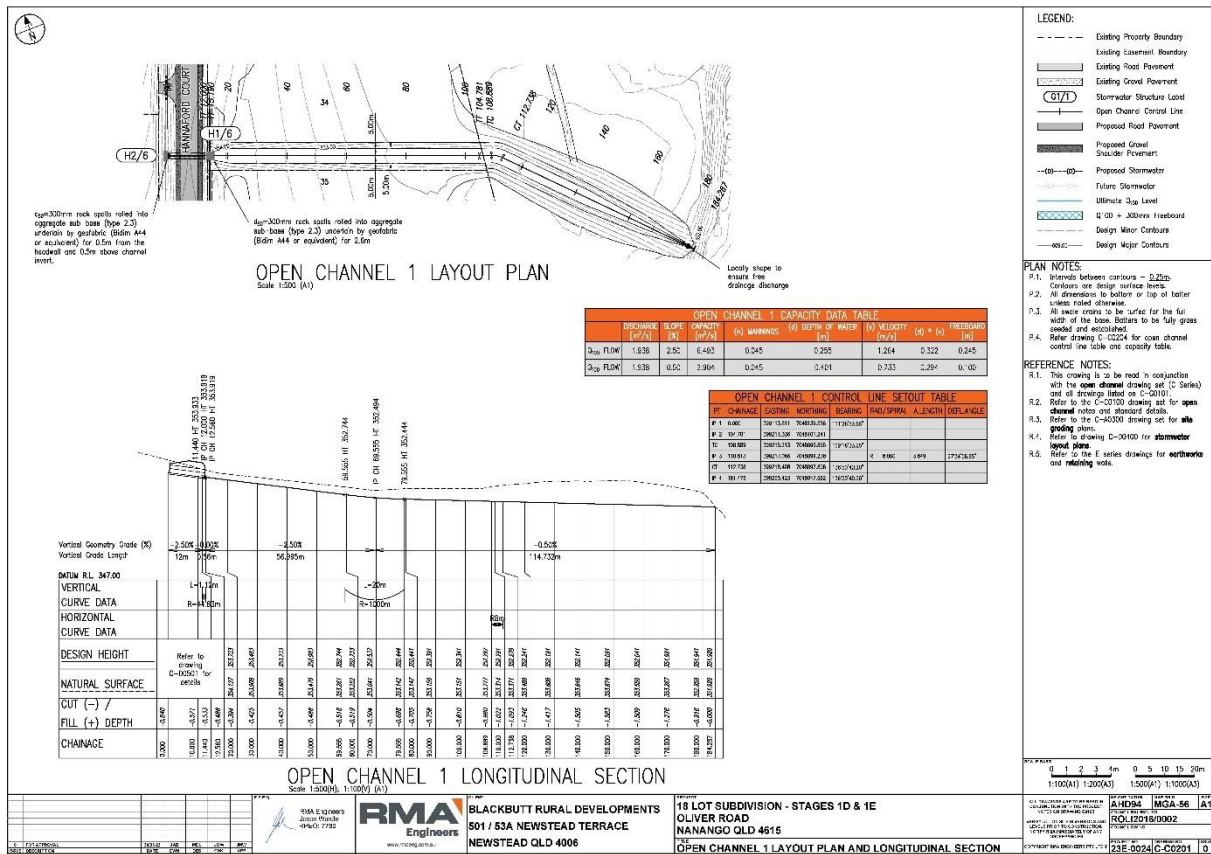
HEADLINGS

- H.1. Solid, flat and slanting lines as shown on the layout plan.
- H.2. Floor: sections (single cells only) shall be installed in accordance with the manufacturer specifications.
- H.3. All multi-cell headlands, wargrains and angles shall be installed in accordance to the type structure.
- H.4. Box Cylent and multi headland: wargrains and angles shall be installed in accordance with Transport and Marine Roads standard drawings 1304.
- H.5. The cast steel, headland, wargrains and angles shall be installed in accordance with Transport and Marine Roads standard drawing 1304 (two drawings).
- H.6. Cylent flat sections (if applicable) shall be installed in accordance with IPPTA standard drawings 76-562.
- H.7. Poles post substructure located directly downstream on the culvert apron shall be installed in accordance with the CULAP Figures 8-11 and 8-12.

VERIFICATION

V.1.a.	Site visits by Certifying Engineer (minimum mandatory requirements)
V.1.b.	Pre-backfill cover pipe
V.1.c.	Joint location or seal bands
V.1.d.	Lifting point plugs and/or infl
V.1.e.	Subgrade review and proofroll (multiple out pipes and RCBG only)
V.1.f.	Base and reinforcement prior to concrete placement (RCBG only)
V.1.g.	Wall reinforcement prior to concrete placement (RCBG only)
V.1.h.	Waiver, base and cut off wall reinforcement prior to concrete placement (cast in situ only)

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Appeal Rights

PLANNING ACT 2016 & THE PLANNING REGULATION 2017

Chapter 6 Dispute resolution

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

- (1) Schedule 1 of the *Planning Act 2016* states –
 - (a) Matters that may be appealed to –
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
 - (b) The person-
 - (i) who may appeal a matter (**the appellant**); and
 - (ii) who is a respondent in an appeal of the matter; and
 - (iii) who is a co-respondent in an appeal of the matter; and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.

(Refer to Schedule 1 of the Planning Act 2016)

- (2) An appellant may start an appeal within the appeal period.
- (3) The **appeal period** is –
 - (a) for an appeal by a building advisory agency – 10 business days after a decision notice for the decision is given to the agency; or
 - (b) for an appeal against a deemed refusal – at any time after the deemed refusal happens; or
 - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises – 20 business days after a notice is published under section 269(3)(a) or (4); or
 - (d) for an appeal against an infrastructure charges notice – 20 business days after the infrastructure charges notice is given to the person; or
 - (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given – 30 business days after the applicant gives the deemed approval notice to the assessment manager; or
 - (f) for any other appeal – 20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note –

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.
- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt. It is declared that an appeal against an infrastructure charges notice must not be about-
 - (a) the adopted charge itself; or
 - (b) for a decision about an offset or refund-
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that-
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar must, within the service period, give a copy of the notice of appeal to –
 - (a) the respondent for the appeal ; and
 - (b) each co-respondent for the appeal; and

- (c) for an appeal about a development application under schedule 1, table 1, item 1 – each principal submitter for the development application; and
 - (d) for an appeal about a change application under schedule 1, table 1, item 2 – each principal submitter for the change application; and
 - (e) each person who may elect to become a co-respondent for the appeal, other than an eligible submitter who is not a principal submitter in an appeal under paragraph (c) or (d); and
 - (f) for an appeal to the P&E Court – the chief executive; and
 - (g) for an appeal to a tribunal under another Act – any other person who the registrar considers appropriate.
- (4) The **service period** is –
 - (a) if a submitter or advice agency started the appeal in the P&E Court – 2 business days after the appeal has started; or
 - (b) otherwise – 10 business days after the appeal is started.
 - (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
 - (6) A person elects to be a co-respondent by filing a notice of election, in the approved form, within 10 business days after the notice of appeal is given to the person.

231 Other appeals

- (1) Subject to this chapter, schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.
- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the Judicial Review Act 1991 in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section –

decision includes-

 - (a) conduct engaged in for the purpose of making a decision; and
 - (b) other conduct that relates to the making of a decision; and
 - (c) the making of a decision or failure to make a decision; and
 - (d) a purported decision ; and
 - (e) a deemed refusal.

non-appealable, for a decision or matter, means the decision or matter-

 - (a) is final and conclusive; and
 - (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the Judicial Review Act 1991 or otherwise, whether by the Supreme Court, another court, a tribunal or another entity; and
 - (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, a tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal. However, the P&E Court may hear and decide an appeal even if the person has not complied with the rules of the P&E Court.