



Officer: Planning Administration
Direct Telephone: 07 4189 9100
Our Reference: OPW23/0007

13 July 2023

Blackbutt Rural Developments
C/- RMA Engineers Pty Ltd
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TOOWOOMBA QLD 4350

South Burnett Regional Council
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Dear Sir/Madam

Decision Notice ***Planning Act 2016***

I refer to your application and advise that on 07 July 2023, Council decided to approve the application in full subject to conditions.

Details of the decision are as follows:

APPLICATION DETAILS

Application No: OPW23/0007
Street Address: Oliver Road NANANGO QLD 4615
Real Property Description: Lot 33 on RP811870
Planning Scheme: South Burnett Regional Council

DECISION DETAILS

Type of Decision: Approval
Type of Approval: Development Permit for Operational Works (Proposal)
Date of Decision: 07 July 2023

CURRENCY PERIOD OF APPROVAL

The currency period for this development approval is two (2) years starting the day that this development approval takes effect. (Refer to Section 85 "Lapsing of approval at end of currency period" of the *Planning Act 2016*.)

INFRASTRUCTURE

Not Applicable.

ASSESSMENT MANAGER CONDITIONS

GENERAL

ENG1. Compliance with the approved plans (refer condition ENG54), approval conditions, all Council Planning Scheme Policies and Planning and Environment Court Order No 2275 of 2018 dated 31 July 2019, for Reconfiguration of Lot 33 on RP811870.

ENG2. This approval extends to Engineering works (Earthworks, Roadworks, Stormwater, and Accesses) as detailed, and is conditional upon a set of "Issued for Construction" drawings, amended if required by the conditions of this approval, being submitted to Council for endorsement, prior to pre-start meeting.

ENG3. Undertake all approved works and works required by conditions of this development approval at no cost to Council.

ENG4. Submit to Council, electrical underground power and street lighting plans certified by a suitably qualified Engineer (RPEQ – Electrical) for approval, prior to Council's endorsement of the Plan of Survey. Be responsible to check and ensure that electrical drawings do not conflict with the civil engineering design.

ENG5. Submit to Council for approval, an Inspection and Test Plan certified by a suitably qualified Engineer (RPEQ – Civil) prior to commencement of any work and prior to any pre-start meeting.

ENG6. Pay to Council, inspection fees based on Council's Fees and Charges current at the time of commencement of works and based on the estimated project cost as estimated or accepted by Council prior to the pre-start meeting.

ENG7. Ensure that supervision of all construction works are carried out by a suitably qualified and experienced Engineer (RPEQ).

ENG8. Adhere to the following hours of construction unless otherwise approved in writing by Council:

Monday to Saturday:	6.30am to 6.30pm	Noise permitted
Monday to Sunday:	6.30pm to 6.30am	No noise permitted
Sunday and Public Holidays:		No noise permitted

Do not conduct work or business that causes audible noise from or on the site outside the above hours.

ENG9. Be responsible to carry out Work Health and Safety legislative requirements.

ENG10. Ensure all work sites are maintained in a clean, orderly state at all times.

ENG11. Manage all waste in accordance with the relevant legislation and regulations and dispose of regulated waste at a licensed facility of South Burnett Regional Council by a licensed regulated waste disposal contractor.

ENG12. Be responsible for the location and protection of any Council and public utility services infrastructure and assets that may be impacted on during construction of the development.

- ENG13. Repair all damages incurred to Council and public utility services infrastructure and assets, as a result of the proposed development, immediately should hazards exist for public health and safety or vehicular safety. Otherwise, repair all damage immediately upon completion of works associated with the development.
- ENG14. Submit to Council, a Certification from a suitably qualified Engineer (RPEQ) that the works have been undertaken in accordance with the approved plans and specifications and to Council's requirements, prior to Council's endorsement of the Plan of Survey.
- ENG15. Works are to be constructed generally in accordance with the specification requirements outlined in Aus-Spec #1 and the IPWEAQ Standard Drawings unless otherwise approved by South Burnett Regional Council.

DESIGN UPDATES

- ENG16. The following updates to the plans are required, and shall be approved by Council prior to a prestart meeting:
 - (a) A temporary gravel turnaround shall be designed and constructed to accommodate a Waste Collection Vehicle at the end of Lynch Drive (refer RMA drawing C-R0301 Rev 0). An easement shall be placed over the balance lot for the area required for the temporary turnaround;
 - (b) Lynch Drive: The broken back curve at Ch25 to Ch260 shall be removed, and new horizontal alignment designed;
 - (c) Hannaford Court: The broken back curve at Ch40 to Ch100 shall be removed, and new horizontal alignment designed;

Comment: The lot boundaries can be slightly altered to accommodate an improved road alignment, provided the lots are still generally in accordance with the approved lot layout.

ROADWORKS

- ENG17. Base gravel is to be Type 3, Subtype 2 material unless otherwise approved by Council. Provide recently undertaken compliance testing from the stockpile used for the project for materials from non-certified Quarries by Council.
- ENG18. Sub-base gravel is to be Type 3, Subtype 4 material, unless otherwise approved by Council, or a natural ridge gravel where approved by Council. Provide recently undertaken compliance testing from the stockpile used for the project for materials from Quarries non-certified by Council.
- ENG19. The bitumen seal shall comprise a prime, and Double/Double seal, designed in accordance with Austroads Guide to Pavement Technology Part 4K.
- ENG20. Provide temporary signage and traffic control for construction in dedicated road reserves in accordance with Part 3 (Works on Roads) of Manual of Uniform Traffic Control Devices (MUTCD) - Department of Transport and Main Roads.
- ENG21. Install and/or modify all street signs and line marking to suit the new works in accordance with the MUTCD. Install new or relocated signage using V-Lok installation system. All new signage shall be Class 1 retro-reflective material to AS1743.
- ENG22. Submit to Council for approval, a Traffic Management Plan prior to commencement of any works involving closing of Council roads or working on or adjacent to existing roads.
- ENG23. The Traffic Management Plan and Work Method Statements in accordance with the *Work Health and Safety Act 2011* requirements shall be maintained on-site at all times.

STORMWATER

- ENG24. Ensure that earthworks and fill on the subject land do not lead to ponding of stormwater or actionable nuisance and ensure all lots, both internal and adjoining, drain freely to a lawful point of discharge in accordance with the Queensland Urban Drainage Manual.
- ENG25. Do not concentrate stormwater onto adjoining properties.
- ENG26. Provide appropriate energy dissipation and scour protection measures at stormwater outlets.
- ENG27. Stormwater management shall be in accordance with RMA Stormwater Management Plan “Subdivision – Oliver Road – Nanango” dated 24 June 2022.

DEVELOPMENT WORKS

- ENG28. Maintain erosion and sedimentation controls at all times during the course of the project and the ensuing defects liability period. Council Officers will inspect and assess the sediment and erosion control measures and temporary fencing implemented, and any alterations and/or supplementary works required must be incorporated.
- ENG29. Implement measures to prevent site vehicles tracking sediment and other pollutants from the site onto adjoining streets during the course of the project, and to prevent dust nuisance during construction and the ensuing defects liability period.
- ENG30. Be responsible for protecting nearby property owners from dust pollution arising from construction and maintenance of the works required by this approval, and comply with any lawful instructions from the Assessment Manager if, in his opinion, a dust nuisance exists.
- ENG31. Adjust all access chamber surface levels to provide a freeboard of 100mm above the finished ground surface level, where the work involves excavation or filling over, or adjacent to water supply, sewerage or gas infrastructure. Be responsible for all costs associated with the adjustment of the chamber levels and the works to be undertaken by Council on a Private Works Quotation basis.
- ENG32. Waste material as a result of demolition work and excavation work must not be used as fill as described within the *Waste Reduction and Recycling Act 2011*.

EARTHWORKS

- ENG33. Supervise bulk earthworks to Level 1 or Level 2 as applicable and have a frequency of field density testing carried out in accordance with Table 8.1 of AS3798.
- ENG34. Contain cut or fill batters wholly within the subject land. Do not place fill on adjacent properties without providing Council with written permission from the respective property owner(s).
- ENG35. Do not store plant or material on adjoining lands without written permission from the respective property owner(s).
- ENG36. Do not use contaminated material as fill on the site. Undertake any filling using inert materials only, with a maximum particle size of 75mm.
- ENG37. Ensure open drains and fill platforms are constructed with a longitudinal grade on no less than 0.1%.

ENG38. Submit to Council, the following for approval in the event it is proposed to import material to or export material from the site, prior to commencement of the work:

- (d) details of the location of any material to be sourced for fill including the volume of fill to be moved from any particular source site;
- (e) details of the final location for any material to be exported from the site from excavations including the volume to be moved to any particular site; and
- (f) the proposed haulage route(s) and truck sizes for carting of the material.

Note: Further Development Applications may be required to be submitted to and approved by Council for sites proposed to import material from or export material to, or conditions may be applied to any sites endorsed in accordance with this condition, e.g., submit a Traffic Management Plan to Council for acceptance, or rehabilitation of the site. Any required approvals are to be in place prior to commencement of the work.

This approval does not extend to any material proposed to be imported to or exported from the site:

- (g) other than from or to site(s) that have a current Development Approval enabling them to export/accept any material; or
- (h) the material is being exported to and accepted at a licensed Council refuse facility.

INSPECTIONS AND TESTING

ENG39. Submit to Council the pre-start meeting agenda at the confirmation of a date and time for the meeting.

ENG40. Provide Council with a minimum of two clear working days' notice to undertake compulsory inspections and meetings at the following stages:

- (i) Pre-start meeting with Council, Contractor, Supervising Engineer and developer;
- (b) Stormwater:
 - (i) prior to backfilling of any stormwater drainage works; and
 - (ii) at the time of CCTV inspection to facilitate Council's acceptance of the works on and off-maintenance;
- (c) Structural steel inspection prior to pouring of any structural concrete including cast in-situ stormwater manholes and gully pits;
- (d) prior to back filling road crossings;
- (e) following preparation and compaction of road sub-grade;
- (f) following placement and compaction of each road pavement layer and prior to laying of the next pavement layer or surfacing layer;
- (g) of the finished pavement surface prior to any bitumen primer-seal or prime or asphalt surfacing;
- (h) at the point of completion of all works before placing on-maintenance; and
- (i) at the point of requesting Council to accept the works off-maintenance.

ENG41. Submit to Council, all inspection and test data in its entirety prepared by the applicant, Engineer, Principal Contractor or by Subcontractors in relation to the Operational Work or as described in the application prior to Council's endorsement of the Survey Plan. Undertake any further inspection, testing or analysis required, due to failure of work to meet specifications or where the testing previously provided is considered insufficient on behalf of the Principal Contractor by a NATA accredited entity (where applicable).

ENG42. Uncover all works covered prior to inspection to allow inspection by Council at Council's sole discretion.

- ENG43. Allow Council to enter a work site to which this approval relates and undertake testing or analysis of any part of the construction, and Council is not liable for the rectification of or compensation for any damage caused in the testing or analysis process. Should work be found to be not constructed to specification or of poor quality, any reasonable instruction given by Council Officers must be considered to be a condition of approval and undertaken by the Principal Contractor.
- ENG44. Where complete or incomplete works under this approval adversely affect adjoining properties, Council land, roads or other infrastructure, Council requires by notice, works to be completed.
- ENG45. Undertake any works for the safety or health of the community or protection of infrastructure where Council deems it necessary.

MAINTENANCE

- ENG46. Submit to Council, a written request to place constructed works on-maintenance or off-maintenance from the developer's certifying Engineer stating that all approved works have been completed and are ready for Council inspection.
- ENG47. Pay to Council, a maintenance bond of 5% of the cost of the operational work as estimated or accepted by Council, prior to commencement of the on-maintenance period.
- ENG48. Maintenance bond must be provided in the form of a cash bond or a bank guarantee.
- ENG49. Maintain all works that will become Council infrastructure for a period of 12 months (maintenance period) from commencement of the on-maintenance period. Undertake any necessary maintenance or repairs to non-conforming work, defects and/or damage to any works undertaken in relation to this approval, even where damage has resulted from a third-party activity within the maintenance period.
- ENG50. The maintenance bond will be entirely forfeited to Council should there be any failure by the applicant to undertake any such works considered by Council as necessary, to rectify any non-compliant works and to protect public safety. In the event that the bond is insufficient to address the non-compliant works, Council reserves the right to seek restitution. After expiration of the maintenance period and where required maintenance is suitably undertaken to Council's satisfaction, the bond will be returned accordingly, after the project is accepted off-maintenance.
- ENG51. The on-maintenance period commences only when Council provides written confirmation that all of the following are completed:
 - (j) satisfactory completion of all works and conditions of Operational Work approval including associated Reconfiguring a Lot approval;
 - (k) provision of all necessary test and quality audit requirements;
 - (l) lodgement with Council, of certification from an RPEQ that the works have been undertaken in accordance with the approved plans and specifications and to Council's requirements;
 - (m) lodgement of a maintenance bond of 5% of the cost of the operational work as accepted by Council;
 - (n) submission of "As Constructed" data in the required format; and

AS CONSTRUCTED INFORMATION

ENG52. Submit to Council within 10 working days of completion of the operational work, suitable "As Constructed" drawings in hard copy and AutoCAD format and on GDA Zone 56 coordinates. The "As Constructed" drawings or data capture methods as required by Council must be certified by a Registered Professional Engineer of Queensland (RPEQ) on every drawing and shall be to an appropriate electronic format and standard as required by Council's Infrastructure Services General Manager.

ENG53. Provide "As Constructed" data for the following elements, where applicable:

- (o) Roadworks;
- (p) Stormwater drainage;
- (q) Electrical and Lighting network.

APPROVED PLANS

ENG54. The approval is subject to construction being undertaken in accordance with the Approved Plans prepared by RMA Engineers as listed below:

Drawing Number	Rev	Drawing Title	Date
C-G0101	0	General layout and drawing index plan	30/03/2023
C-G0102	0	Project notes	30/03/2023
C-G0201	0	Survey Setout and existing features plan	30/03/2023
C-G0301	0	Combined services master plan	30/03/2023
C-G0401	0	Easement plan	30/03/2023
C-G0501	0	Staging plan	30/03/2023
C-R0101	0	Roadworks and footpath notes and standard details	30/03/2023
C-R0102	0	Driveway typical details	30/03/2023
C-R0103	0	Typical road cross sections	30/03/2023
C-R0201	0	Pavement design plan	30/03/2023
C-R0300	0	Road control line Setout tables	30/03/2023
C-R0301	0	Lynch drive layout plan longitudinal section	30/03/2023
C-R0302	0	Lynch Drive cross sections	30/03/2023
C-R0303	0	Hannaford Court layout plan and longitudinal section	30/03/2023
C-R0304	0	Hannaford court cross sections - 1	30/03/2023
C-R0305	0	Hannaford court cross sections – 2	30/03/2023
C-R0306	0	Driveway 1 Layout plan and longitudinal section	30/03/2023
C-R0307	0	Driveway 1 cross sections	30/03/2023
C-R0400	0	Intersection Setout coordinates	30/03/2023
C-R0401	0	Intersection layout plan – 1	30/03/2023
C-D0101	0	Stormwater notes and standard details	30/03/2023
C-D0201	0	Stormwater catchment plan	30/03/2023
C-D0501	0	Stormwater longitudinal sections	30/03/2023
C-D0701	0	Stormwater calculation Tables – 1	30/03/2023
C-D0702	0	Stormwater calculation Tables – 2	30/03/2023
C-E0101	0	Bulk earthworks notes and standard details	30/03/2023
C-E0201	0	Cut to fill extent layout plan	30/03/2023
C-E0801	0	Erosion and sediment control notes and details	30/03/2023
C-E0901	0	Erosion and sediment control layout plan	30/03/2023
C-C0101	0	Open channel notes and standard details	30/03/2023
C-C0201	0	Open channel 1 layout plan and longitudinal section	30/03/2023
C-C0202	0	Open channel 1 cross sections	30/03/2023
C-C0203	0	Open channel 2 layout plan and longitudinal section – 1	30/03/2023
C-C0204	0	Open channel 2 layout plan and longitudinal section – 2	30/03/2023

C-C0205	0	Open channel 2 cross sections – 1	30/03/2023
C-C0206	0	Open channel 2 cross sections – 2	30/03/2023
C-C0207	0	Open channel 2 cross sections – 3	30/03/2023
C-C0208	0	Open channel 2 cross sections – 4	30/03/2023
C-C0209	0	Open channel 2 cross sections – 5	30/03/2023
C-C0210	0	Open channel 2 cross sections – 6	30/03/2023

REFERRAL AGENCIES

Not Applicable.

APPROVED PLANS

The following plans are Approved plans for the development:

Approved Plans

Plan No.	Rev.	Plan Name	Date
C-G0101	0	<i>General layout and drawing index plan</i> , prepared by RMA Engineers	30/03/2023
C-G0102	0	<i>Project notes</i> , prepared by RMA Engineers	30/03/2023
C-G0201	0	<i>Survey Setout and existing features plan</i> , prepared by RMA Engineers	30/03/2023
C-G0301	0	<i>Combined services master plan</i> , prepared by RMA Engineers	30/03/2023
C-G0401	0	<i>Easement plan</i> , prepared by RMA Engineers	30/03/2023
C-G0501	0	<i>Staging plan</i> , prepared by RMA Engineers	30/03/2023
C-R0101	0	<i>Roadworks and footpath notes and standard details</i> , prepared by RMA Engineers	30/03/2023
C-R0102	0	<i>Driveway typical details</i> , prepared by RMA Engineers	30/03/2023
C-R0103	0	<i>Typical road cross sections</i> , prepared by RMA Engineers	30/03/2023
C-R0201	0	<i>Pavement design plan</i> , prepared by RMA Engineers	30/03/2023
C-R0300	0	<i>Road control line Setout tables</i> , prepared by RMA Engineers	30/03/2023
C-R0301	0	<i>Lynch drive layout plan longitudinal section</i> , prepared by RMA Engineers	30/03/2023
C-R0302	0	<i>Lynch Drive cross sections</i> , prepared by RMA Engineers	30/03/2023
C-R0303	0	<i>Hannaford Court layout plan and longitudinal section</i> , prepared by RMA Engineers	30/03/2023
C-R0304	0	<i>Hannaford court cross sections - 1</i> , prepared by RMA Engineers	30/03/2023
C-R0305	0	<i>Hannaford court cross sections – 2</i> , prepared by RMA Engineers	30/03/2023
C-R0306	0	<i>Driveway 1 Layout plan and longitudinal section</i> , prepared by RMA Engineers	30/03/2023
C-R0307	0	<i>Driveway 1 cross sections</i> , prepared by RMA Engineers	30/03/2023
C-R0400	0	<i>Intersection Setout coordinates</i> , prepared by RMA Engineers	30/03/2023
C-R0401	0	<i>Intersection layout plan – 1</i> , prepared by RMA Engineers	30/03/2023
C-D0101	0	<i>Stormwater notes and standard details</i> , prepared by RMA Engineers	30/03/2023
C-D0201	0	<i>Stormwater catchment plan</i> , prepared by RMA Engineers	30/03/2023
C-D0501	0	<i>Stormwater longitudinal sections</i> , prepared by RMA Engineers	30/03/2023

C-D0701	0	<i>Stormwater calculation Tables – 1, prepared by RMA Engineers</i>	30/03/2023
C-D0702	0	<i>Stormwater calculation Tables – 2, prepared by RMA Engineers</i>	30/03/2023
C-E0101	0	<i>Bulk earthworks notes and standard details, prepared by RMA Engineers</i>	30/03/2023
C-E0201	0	<i>Cut to fill extent layout plan, prepared by RMA Engineers</i>	30/03/2023
C-E0801	0	<i>Erosion and sediment control notes and details, prepared by RMA Engineers</i>	30/03/2023
C-E0901	0	<i>Erosion and sediment control layout plan, prepared by RMA Engineers</i>	30/03/2023
C-C0101	0	<i>Open channel notes and standard details, prepared by RMA Engineers</i>	30/03/2023
C-C0201	0	<i>Open channel 1 layout plan and longitudinal section, prepared by RMA Engineers</i>	30/03/2023
C-C0202	0	<i>Open channel 1 cross sections, prepared by RMA Engineers</i>	30/03/2023
C-C0203	0	<i>Open channel 2 layout plan and longitudinal section – 1, prepared by RMA Engineers</i>	30/03/2023
C-C0204	0	<i>Open channel 2 layout plan and longitudinal section – 2, prepared by RMA Engineers</i>	30/03/2023
C-C0205	0	<i>Open channel 2 cross sections – 1, prepared by RMA Engineers</i>	30/03/2023
C-C0206	0	<i>Open channel 2 cross sections – 2, prepared by RMA Engineers</i>	30/03/2023
C-C0207	0	<i>Open channel 2 cross sections – 3, prepared by RMA Engineers</i>	30/03/2023
C-C0208	0	<i>Open channel 2 cross sections – 4, prepared by RMA Engineers</i>	30/03/2023
C-C0209	0	<i>Open channel 2 cross sections – 5, prepared by RMA Engineers</i>	30/03/2023
C-C0210	0	<i>Open channel 2 cross sections – 6, prepared by RMA Engineers</i>	30/03/2023

REFERENCED DOCUMENTS

Not Applicable.

ADVISORY NOTES

The following notes are included for guidance and information purposes only and do not form part of the assessment manager conditions:

ADVICE NOTES

ADV1. The applicant be advised that:

ADV2. Prior to commencement of the use or endorsement of the survey plan as applicable, the applicant shall contact Council to arrange a Development Compliance Inspection.

ADV3. The applicant must ensure compliance with environmental conditions whether required to hold an Environmental Authority or not. These include, but are not limited to water quality, air quality, noise levels, waste waters, lighting and visual quality as a result of any activity or by-product or storage of materials within the confines of the building(s) and property boundaries.

- i. Any amendment, alteration or addition to the development approval will require further consideration by Council in assessing any changes to the environmental conditions.

ADV4. The *Aboriginal Cultural Heritage Act 2003* (ACHA) is administered by the Department of Aboriginal and Torres Strait Islander and Multicultural Affairs (DATSIMA). The ACHA establishes a duty of care to take all reasonable and practicable measures to ensure any activity does not harm Aboriginal cultural heritage. This duty of care:

- ii. is not negated by the issuing of this development approval;
- iii. applies on all land and water, including freehold land;
- iv. lies with the person or entity conducting an activity; and
- v. if breached, is subject to criminal offence penalties.

vi. Those proposing an activity involving surface disturbance beyond that which has already occurred at the proposed site must observe this duty of care. Details of how to fulfil this duty of care are outlined in the duty of care guidelines gazetted with the ACHA. The applicant should contact DATSIP's Cultural Heritage Co-ordination Unit on telephone (07) 3224 2070 for further information on the responsibilities of developers under the ACHA.

ADV5. The **relevant period** for the development approval (Operational Work) shall be **two (2) years** starting the day the approval is granted or takes effect. In accordance with Section 85(1)(c) of the *Planning Act 2016* (PA), the development approval for Operational Work lapses if the development does not substantially start within the abovementioned **relevant period**.

An applicant may request Council to extend the **relevant period** provided that such request is made in accordance with Section 86 of PA and before the development approval lapses under Section 85 of the PA.

ADV6. Council is to be indemnified against any claims arising from works carried out by the applicant on Council's property.

ADV7. The relevant Planning Scheme for this Development Permit is the South Burnett Regional Council Planning Scheme 2017. All references to the Planning Scheme and Schedules within these conditions refer to the above Planning Scheme.

PROPERTY NOTES

Not Applicable.

VARIATION APPROVAL

Not Applicable.

FURTHER DEVELOPMENT PERMITS REQUIRED

Not Applicable.

RIGHTS OF APPEAL

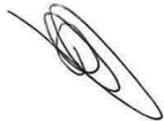
You are entitled to appeal against this decision. A copy of the relevant appeal provisions from the *Planning Act 2016* is attached.

During the appeal period, you as the applicant may suspend your appeal period and make written representations to council about the conditions contained within the development approval. If council agrees or agrees in part with the representations, a “negotiated decision notice” will be issued. Only one “negotiated decision notice” may be given. Taking this step will defer your appeal period, which will commence again from the start the day after you receive a “negotiated decision notice”.

OTHER DETAILS

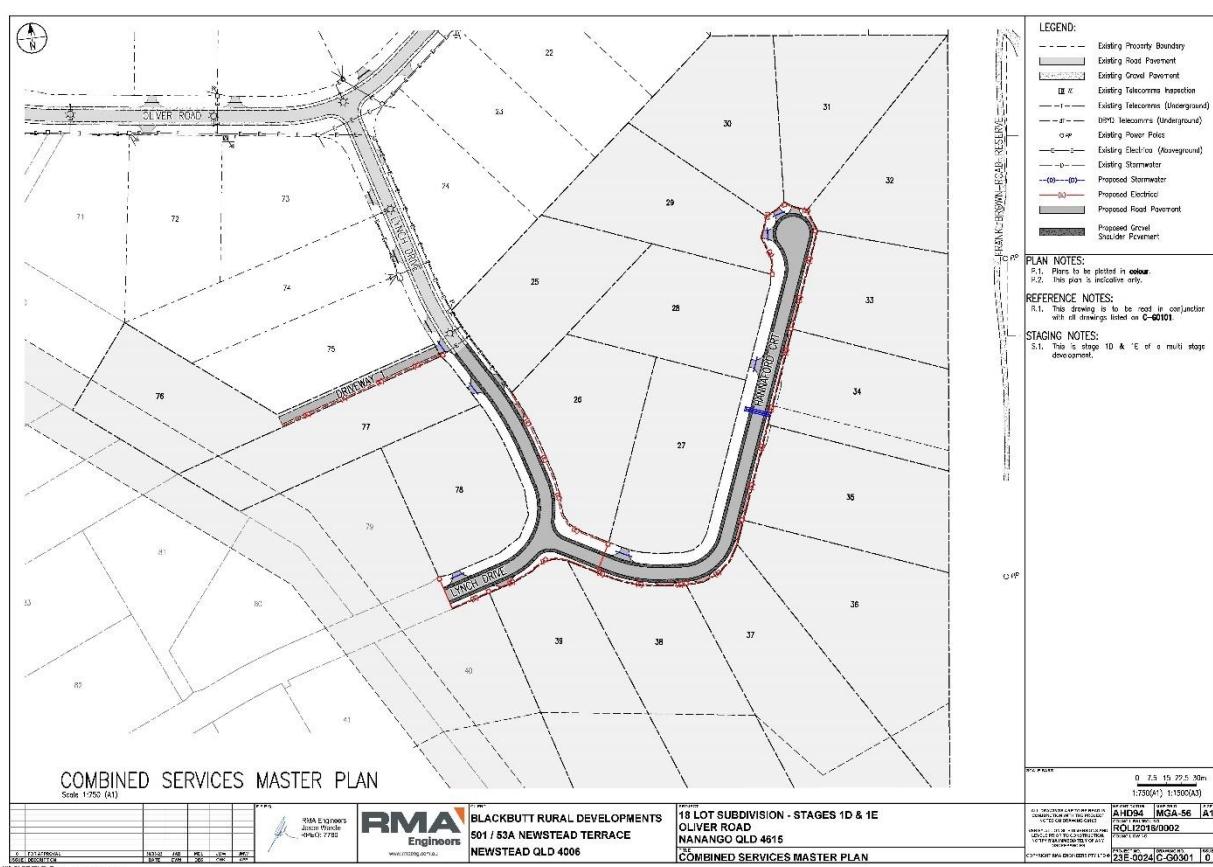
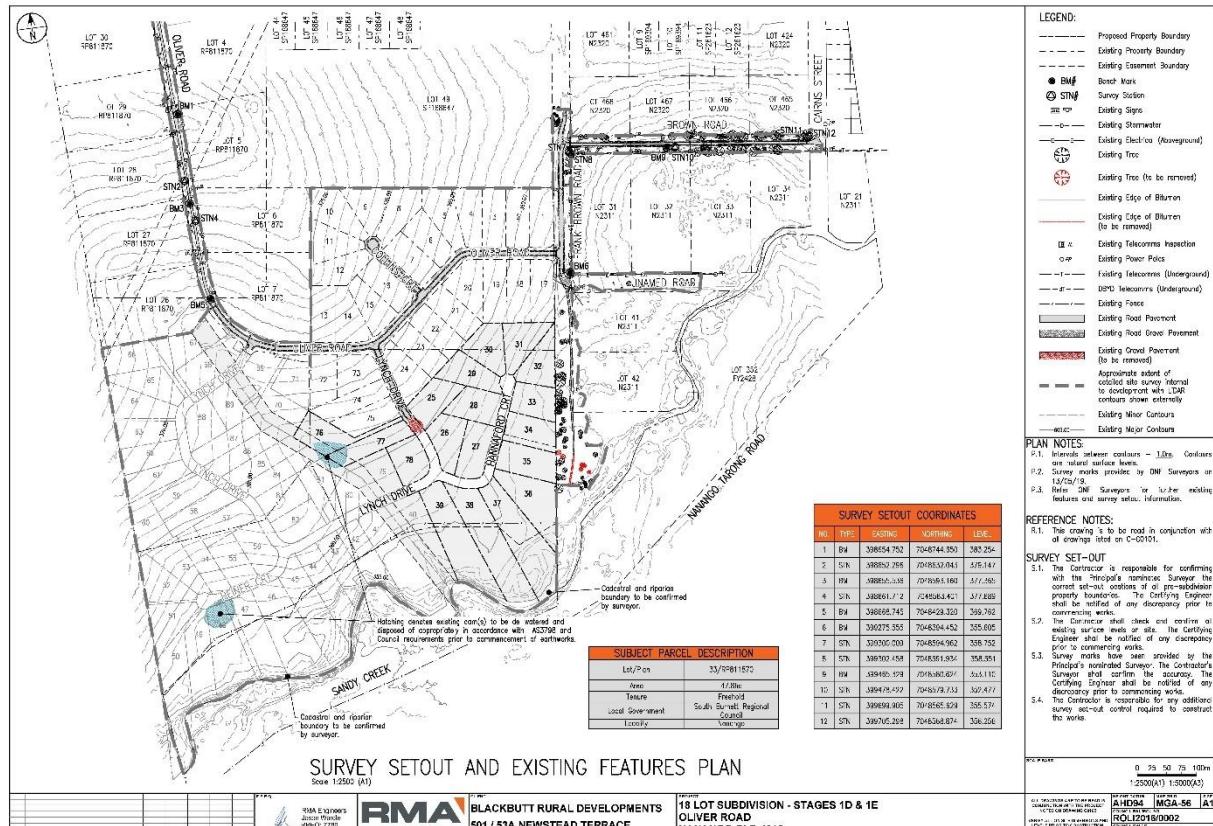
If you wish to obtain more information about Council's decision, electronic copies are available online at www.southburnett.qld.gov.au, or at Council Offices.

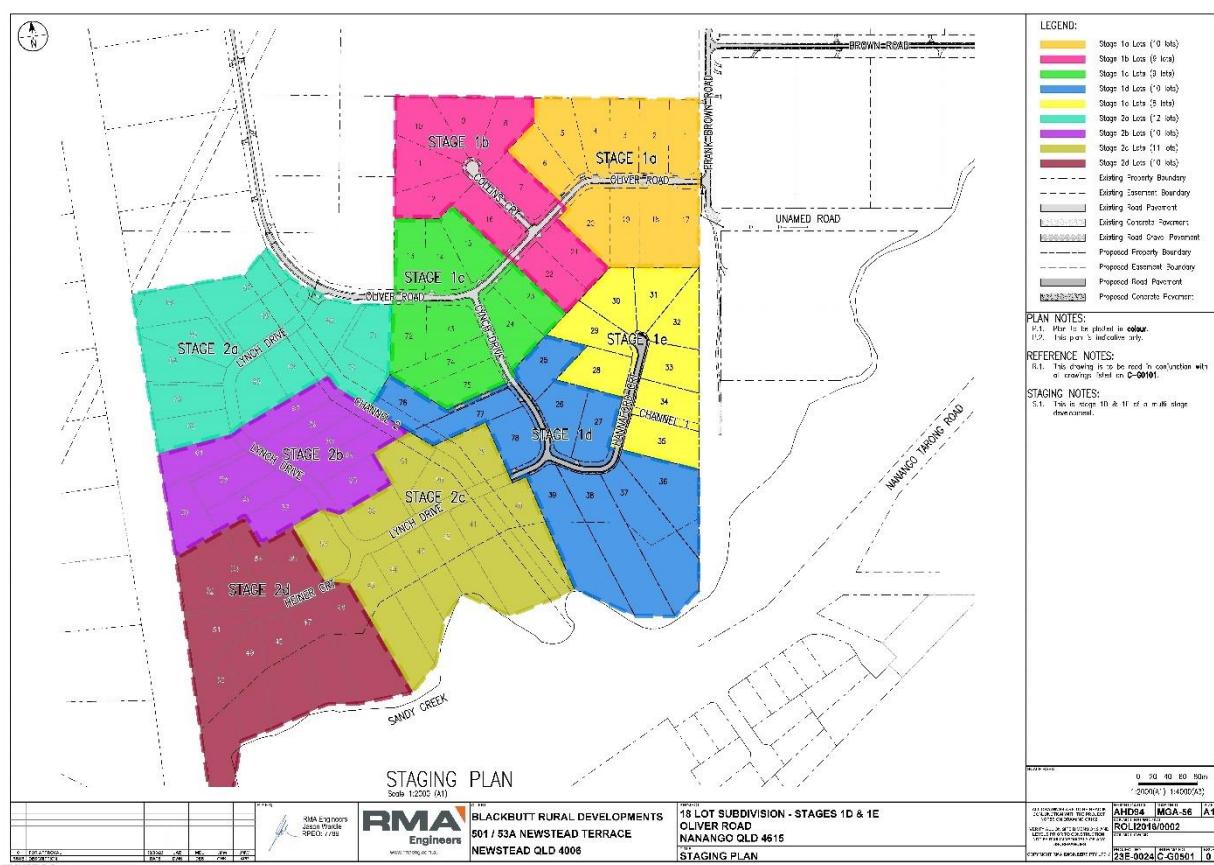
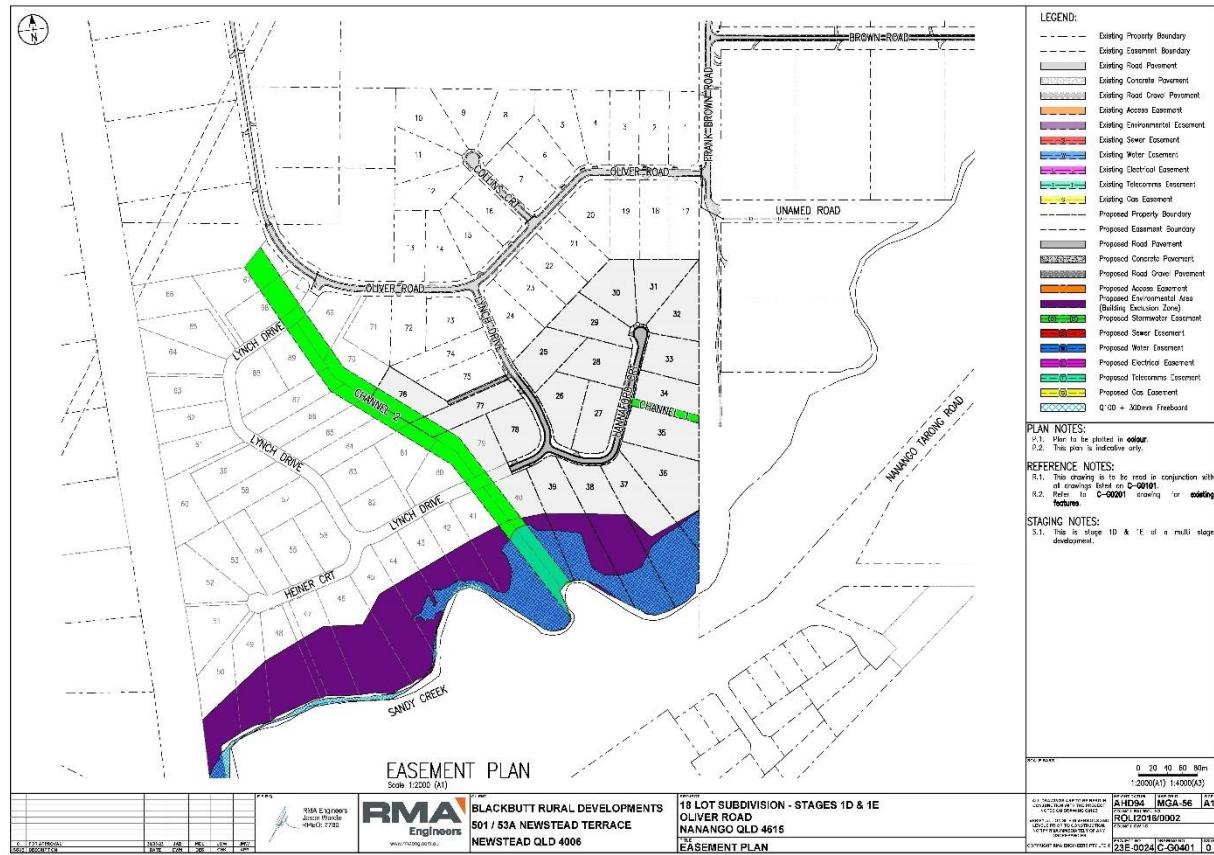
Yours faithfully

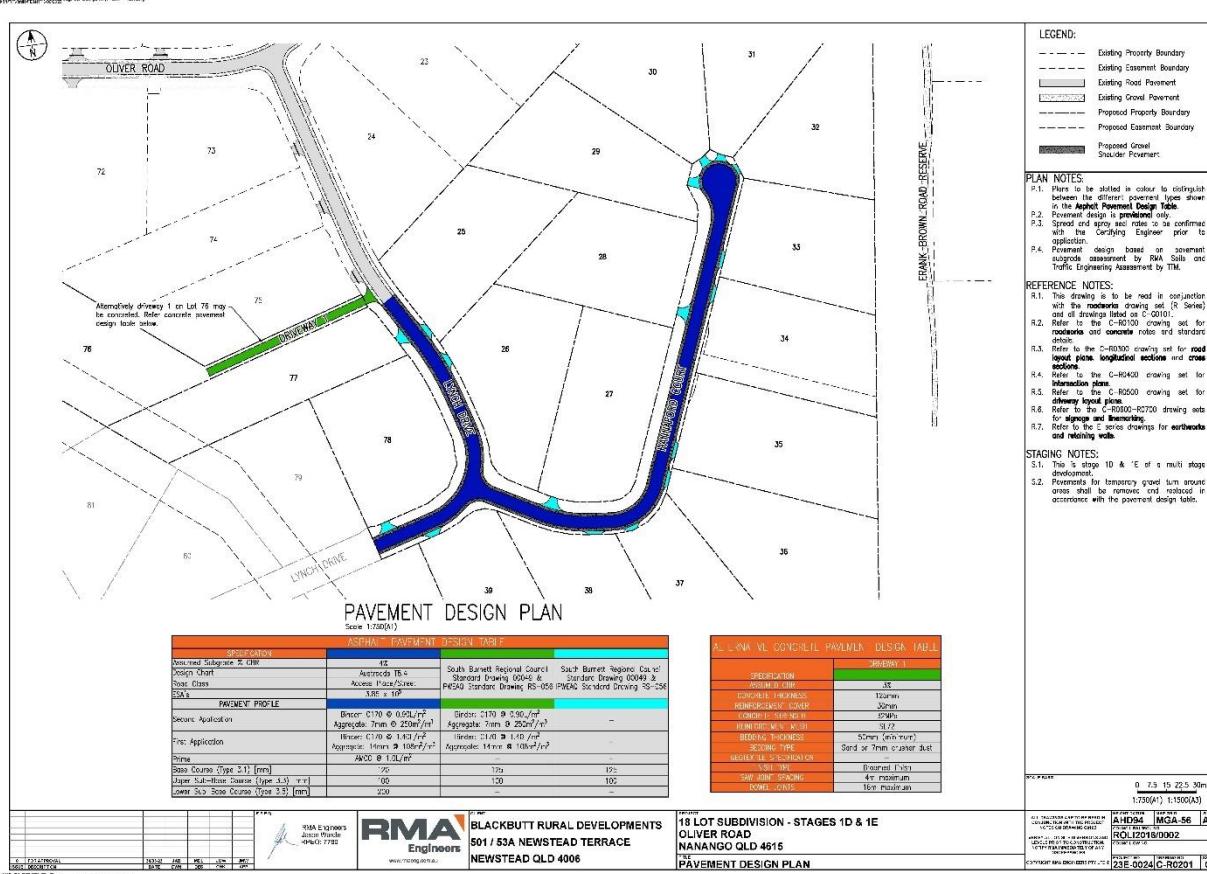
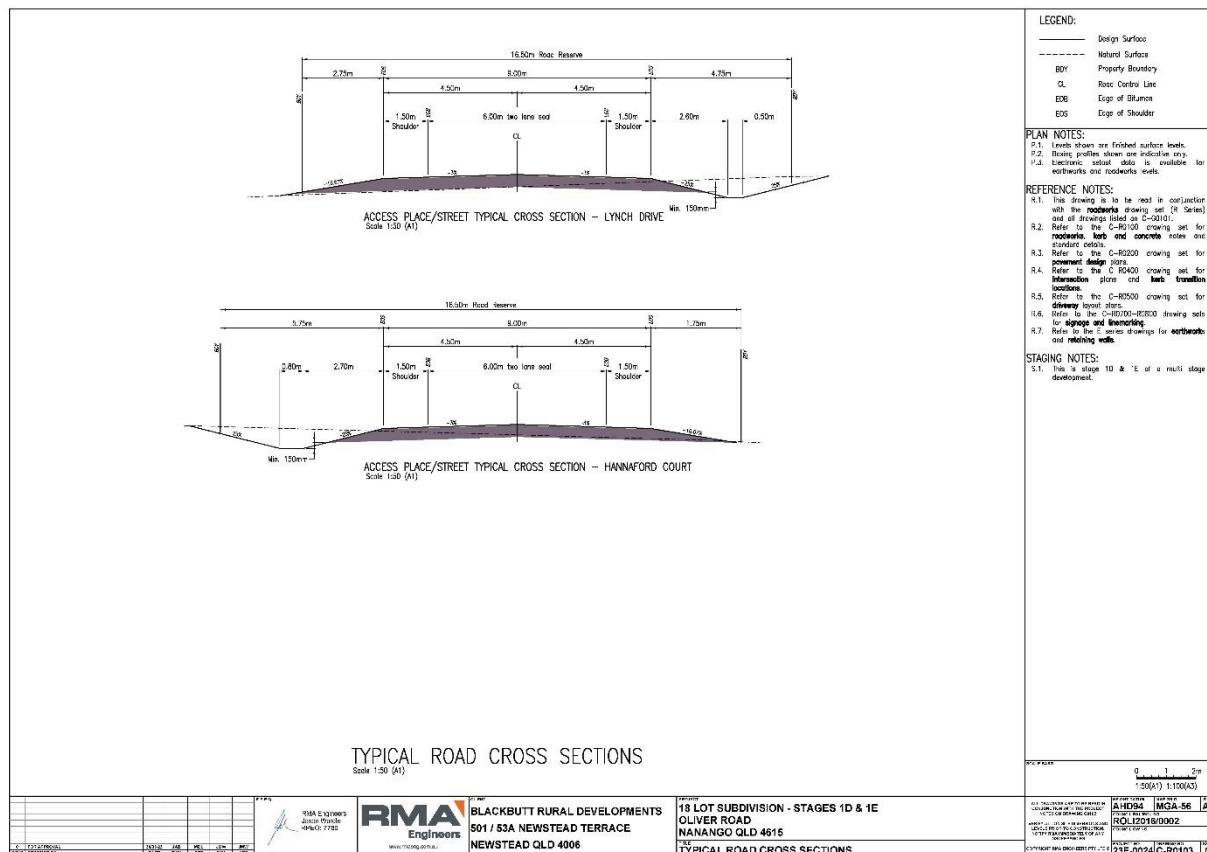


DARRYL BROOKS
MANAGER ENVIRONMENT & PLANNING

Enc: Approved Plans
 Appeal Rights



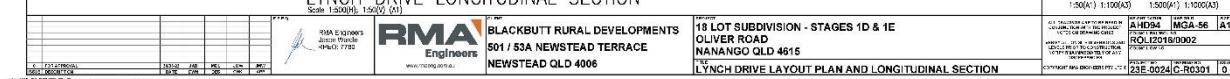
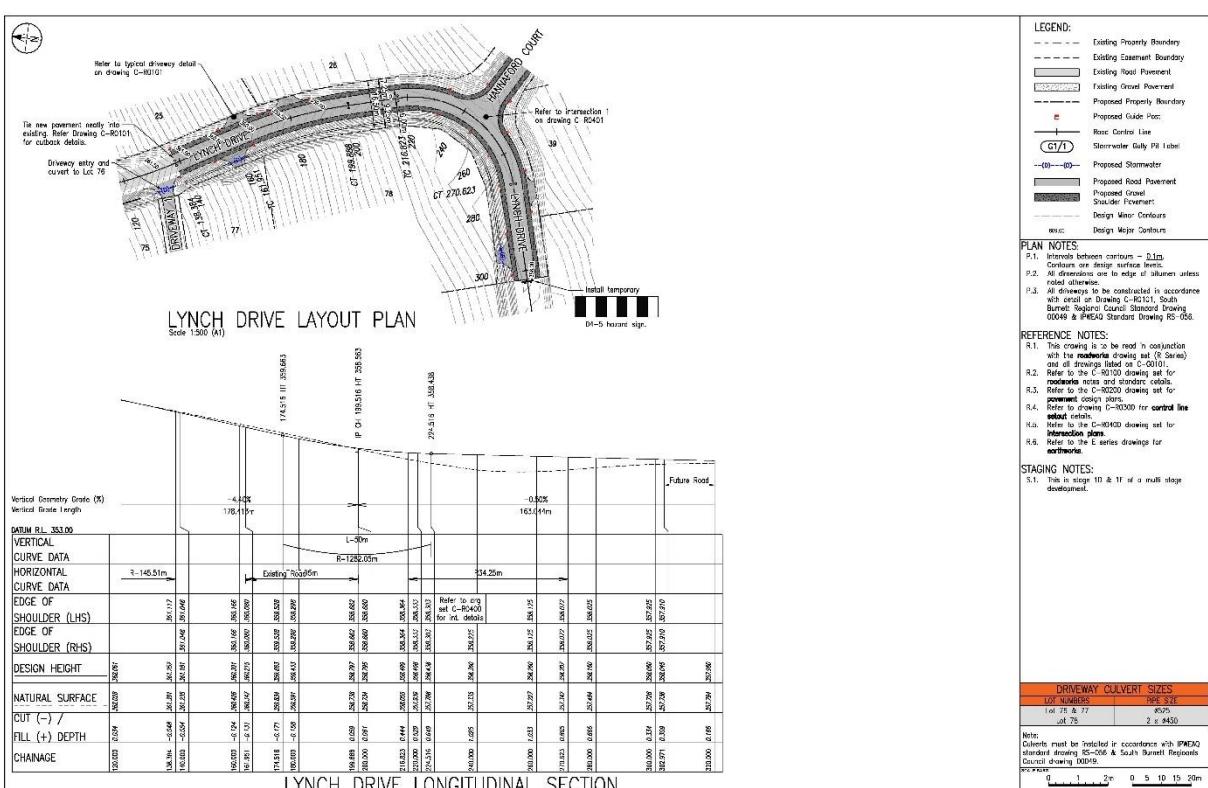


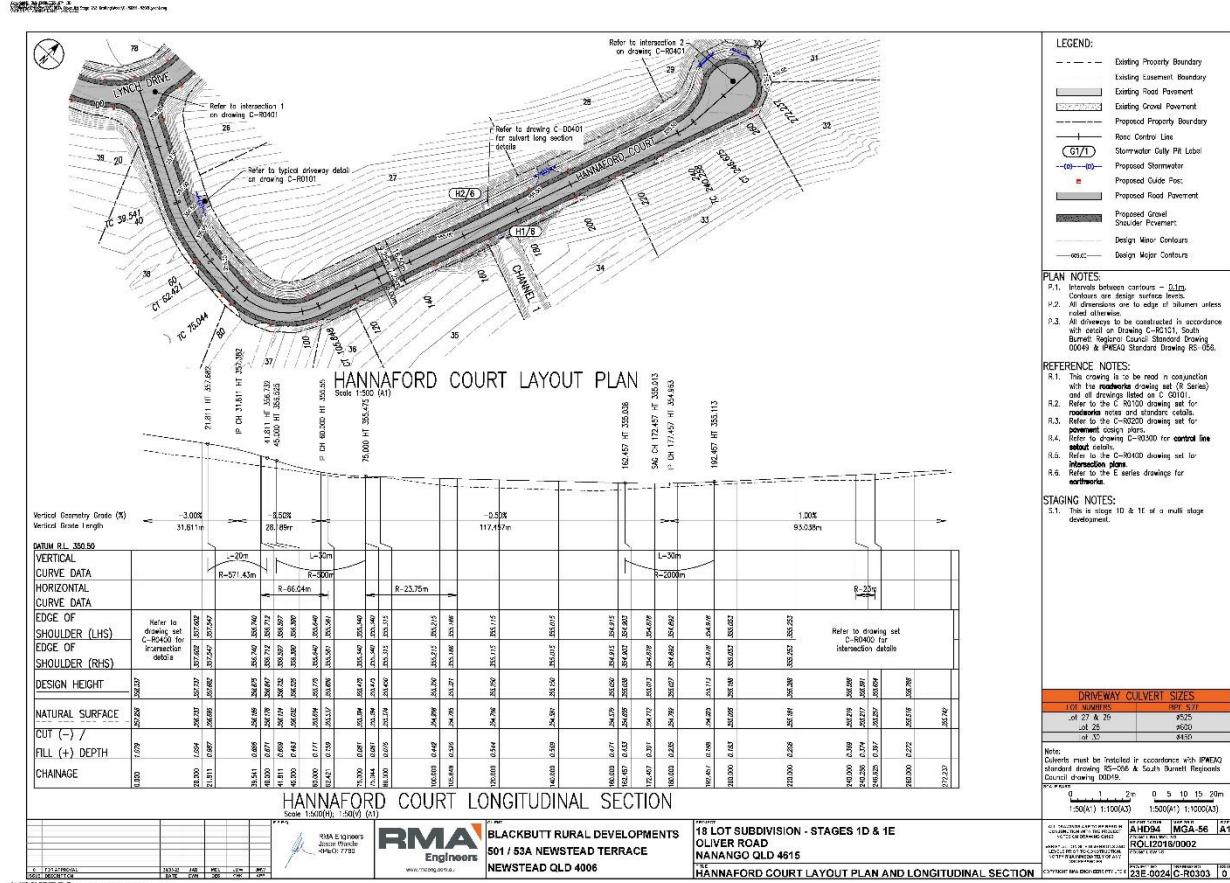
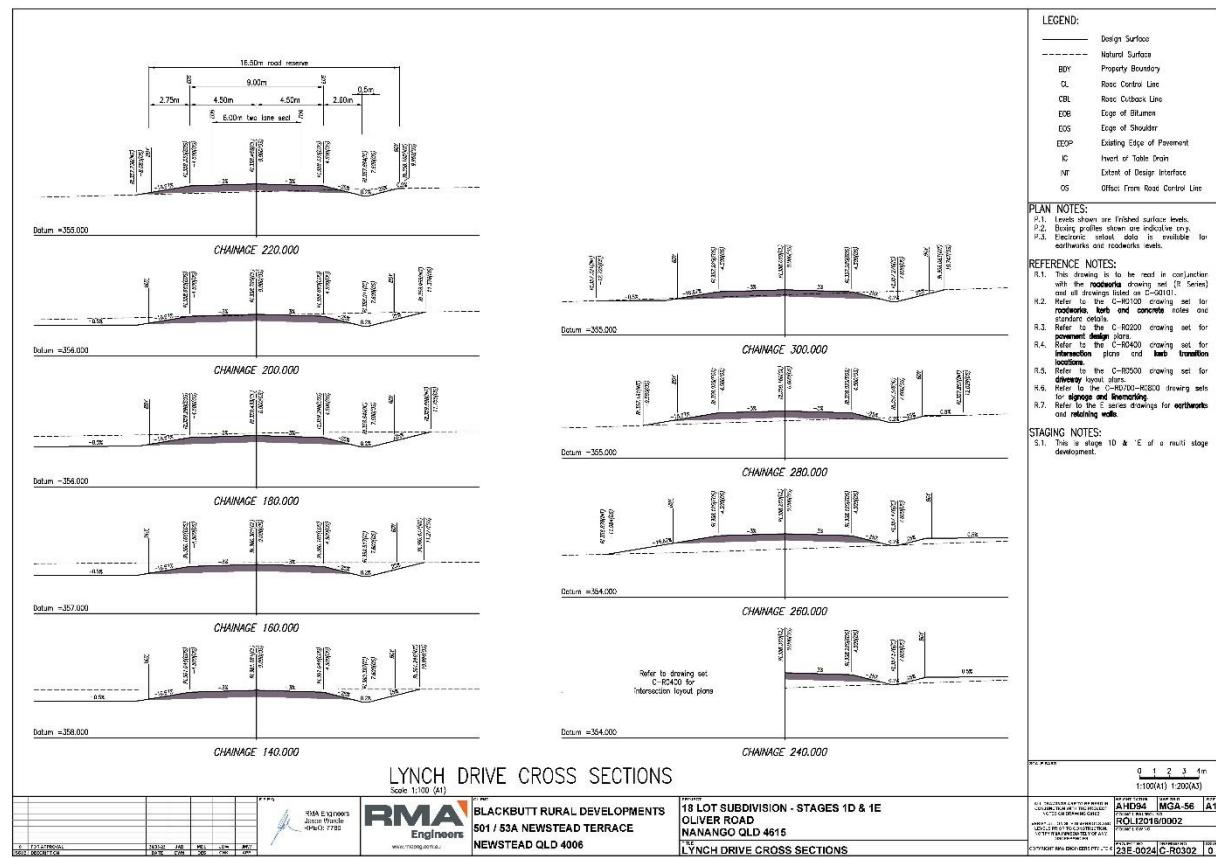


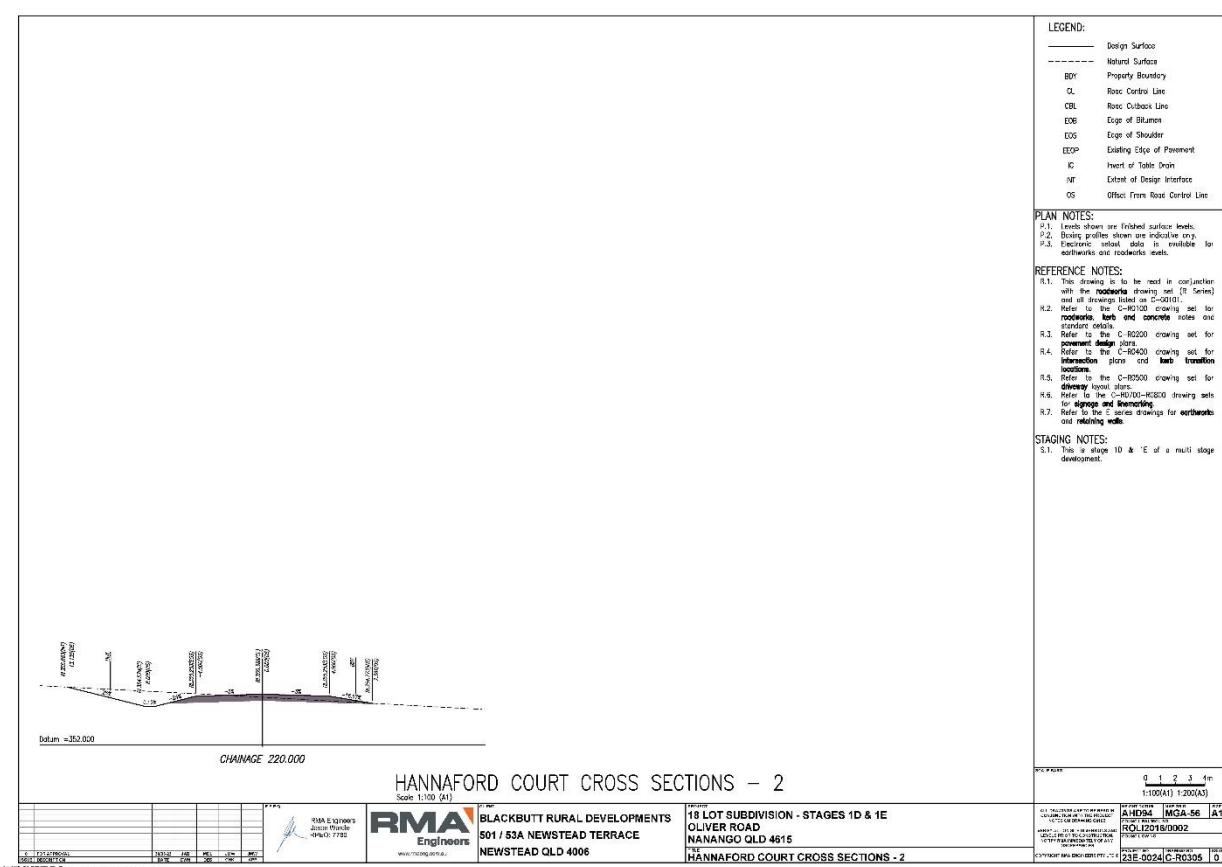
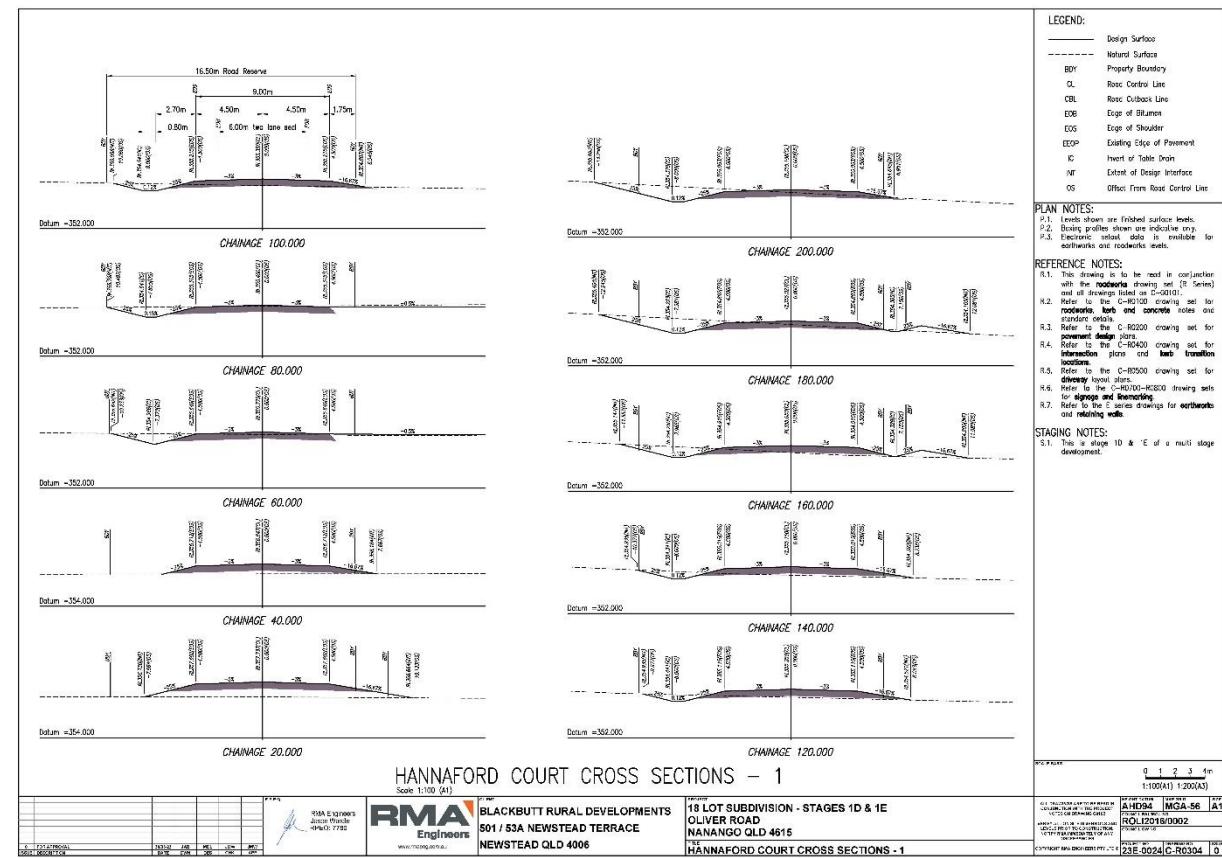
LYNCH DRIVE CONTROL LINE SET-UP TABLE						
PT	CHANGE	EASTING	WORLING	BEARING	RAD/SPRAL	A LENGTH
P1	10.4	21771.635	10.375	23.98		
P2	10.5	20109.152	70.916	06.995		
P3	10.6	19446.404	50.545	16.613		
P4	10.7	18783.656	30.174	26.231		
P5	10.8	18120.771	19.803	35.849		
P6	10.9	17457.886	10.432	45.477		
P7	10.0	16795.001	10.061	55.105		
P8	10.1	16132.116	10.690	64.733		
P9	10.2	15469.231	11.319	74.361		
P10	10.3	14806.346	11.948	83.989		
P11	10.4	14143.461	12.577	93.617		
P12	10.5	13479.576	13.206	103.245		
P13	10.6	12816.691	13.835	112.873		
P14	10.7	12153.806	14.464	122.501		
P15	10.8	11490.921	15.093	132.129		
P16	10.9	10828.036	15.722	141.757		
P17	10.0	10165.151	16.351	151.385		
P18	10.1	9502.266	16.980	161.013		
P19	10.2	8839.381	17.609	170.641		
P20	10.3	8176.496	18.238	180.269		
P21	10.4	7513.611	18.867	189.897		
P22	10.5	6850.726	19.496	199.525		
P23	10.6	6187.841	20.125	209.153		
P24	10.7	5524.956	20.754	218.781		
P25	10.8	4862.071	21.383	228.409		
P26	10.9	4200.186	22.012	238.037		
P27	10.0	3537.301	22.641	247.665		
P28	10.1	2874.416	23.270	257.293		
P29	10.2	2211.531	23.899	266.921		
P30	10.3	1548.646	24.528	276.549		
P31	10.4	885.761	25.157	286.177		
P32	10.5	222.876	25.786	295.805		
P33	10.6	-339.191	26.415	305.433		
P34	10.7	-952.306	27.044	315.061		
P35	10.8	-1295.421	27.673	324.689		
P36	10.9	-1632.536	28.302	334.317		
P37	10.0	-1969.651	28.931	343.945		
P38	10.1	-2306.766	29.560	353.573		
P39	10.2	-2643.881	30.189	363.201		
P40	10.3	-2980.996	30.818	372.829		
P41	10.4	-3318.111	31.447	382.457		
P42	10.5	-3655.226	32.076	392.085		
P43	10.6	-4002.341	32.705	401.713		
P44	10.7	-4339.456	33.334	411.341		
P45	10.8	-4676.571	33.963	420.969		
P46	10.9	-5013.686	34.592	430.607		
P47	10.0	-5350.801	35.221	440.235		
P48	10.1	-5687.916	35.850	449.863		
P49	10.2	-6025.031	36.479	459.491		
P50	10.3	-6362.146	37.108	469.119		
P51	10.4	-6700.261	37.737	478.747		
P52	10.5	-7037.376	38.366	488.375		
P53	10.6	-7374.491	38.995	498.003		
P54	10.7	-7711.606	39.624	507.631		
P55	10.8	-8048.721	40.253	517.259		
P56	10.9	-8385.836	40.882	526.887		
P57	10.0	-8722.951	41.511	536.515		
P58	10.1	-9060.066	42.140	546.143		
P59	10.2	-9397.181	42.769	555.771		
P60	10.3	-9734.296	43.398	565.400		
P61	10.4	-10071.411	43.927	575.028		
P62	10.5	-10408.526	44.556	584.656		
P63	10.6	-10745.641	45.185	594.284		
P64	10.7	-11082.756	45.814	603.912		
P65	10.8	-11419.871	46.443	613.540		
P66	10.9	-11756.986	47.072	623.168		
P67	10.0	-12094.101	47.701	632.796		
P68	10.1	-12431.216	48.330	642.424		
P69	10.2	-12768.331	48.959	652.052		
P70	10.3	-13105.446	49.588	661.680		
P71	10.4	-13442.561	50.217	671.308		
P72	10.5	-13779.676	50.846	680.936		
P73	10.6	-14116.791	51.475	690.564		
P74	10.7	-14453.906	52.104	700.192		
P75	10.8	-14791.021	52.733	709.820		
P76	10.9	-15128.136	53.362	719.448		
P77	10.0	-15465.251	53.991	729.076		
P78	10.1	-15802.366	54.620	738.704		
P79	10.2	-16139.481	55.249	748.332		
P80	10.3	-16476.596	55.878	757.960		
P81	10.4	-16813.711	56.507	767.588		
P82	10.5	-17150.826	57.136	777.216		
P83	10.6	-17487.941	57.765	786.844		
P84	10.7	-17825.056	58.394	796.472		
P85	10.8	-18162.171	59.023	806.100		
P86	10.9	-18500.286	59.652	815.728		
P87	10.0	-18837.401	60.281	825.356		
P88	10.1	-19174.516	60.910	834.984		
P89	10.2	-19511.631	61.539	844.612		
P90	10.3	-19848.746	62.168	854.240		
P91	10.4	-20185.861	62.797	863.868		
P92	10.5	-20522.976	63.426	873.496		
P93	10.6	-20850.091	64.055	883.124		
P94	10.7	-21187.206	64.684	892.752		
P95	10.8	-21524.321	65.313	902.380		
P96	10.9	-21861.436	65.942	912.008		
P97	10.0	-22198.551	66.571	921.636		
P98	10.1	-22535.666	67.200	931.264		
P99	10.2	-22872.781	67.829	940.892		
P100	10.3	-23209.896	68.458	950.520		
P101	10.4	-23546.011	69.087	959.148		
P102	10.5	-23883.126	69.716	968.776		
P103	10.6	-24220.241	70.345	978.404		
P104	10.7	-24557.356	70.974	987.032		
P105	10.8	-24894.471	71.603	996.660		
P106	10.9	-25231.586	72.232	1006.288		
P107	10.0	-25568.701	72.861	1015.916		
P108	10.1	-25905.816	73.490	1025.544		
P109	10.2	-26242.931	74.119	1035.172		
P110	10.3	-26579.046	74.748	1044.800		
P111	10.4	-26916.161	75.377	1054.428		
P112	10.5	-27253.276	76.006	1064.056		
P113	10.6	-27590.391	76.635	1073.684		
P114	10.7	-27927.506	77.264	1083.312		
P115	10.8	-28264.621	77.893	1092.940		
P116	10.9	-28601.736	78.522	1102.568		
P117	10.0	-28938.851	79.151	1112.196		
P118	10.1	-29275.966	79.780	1121.824		
P119	10.2	-29613.081	80.409	1131.452		
P120	10.3	-29950.196	81.038	1141.080		
P121	10.4	-30287.311	81.667	1150.708		
P122	10.5	-30624.426	82.296	1160.336		
P123	10.6	-30961.541	82.925	1169.964		
P124	10.7	-31308.656	83.554	1179.592		
P125	10.8	-31645.771	84.183	1189.220		
P126	10.9	-32002.886	84.812	1198.848		
P127	10.0	-32339.001	85.441	1208.476		
P128	10.1	-32676.116	86.070	1218.104		
P129	10.2	-33013.231	86.699	1227.732		
P130	10.3	-33350.346	87.328	1237.360		
P131	10.4	-33687.461	87.957	1246.988		
P132	10.5	-34024.576	88.586	1256.616		
P133	10.6	-34361.691	89.215	1266.244		
P134	10.7	-34708.806	89.844	1275.872		
P135	10.8	-35045.921	90.473	1285.500		
P136	10.9	-35383.036	91.102	1295.128		
P137	10.0	-35720.151	91.731	1304.756		
P138	10.1	-36057.266	92.360	1314.384		
P139	10.2	-36394.381	92.989	1324.012		
P140	10.3	-36731.496	93.618	1333.640		
P141	10.4	-37068.611	94.247	1343.268		
P142	10.5	-37505.726	94.876	1352.896		
P143	10.6	-37842.841	95.505	1362.524		
P144	10.7	-38179.956	96.134	1372.152		
P145	10.8	-38517.071	96.763	1381.780		
P146	10.9	-38854.186	97.392	1391.408		
P147	10.0	-39191.301	98.021	1401.036		
P148	10.1	-39528.416	98.650	1410.664		
P149	10.2	-39865.531	99.279	1410.292		
P150	10.3	-40202.646	99.908	1419.920		
P151	10.4	-40539.761	100.537	1429.548		
P152	10.5	-40876.876	101.166	1439.176		
P153	10.6	-41213.991	101.795	1448.804		
P154	10.7	-41551.106	102.424	1458.432		
P155	10.8	-41888.221	103.053	1468.060		
P156	10.9	-42225.336	103.682	1477.688		
P157	10.0	-42562.451	104.311	1487.316		
P158	10.1	-42900.566	104.940	1496.944		
P159	10.2	-43237.681	105.569	1506.572		
P160	10.3	-43574.796	106.198	1516.200		
P161	10.4	-43911.911	106.827	1525.828		
P162	10.5	-44249.026	107.456	1535.456		
P163	10.6	-44586.141	108.085	1545.084		
P164	10.7	-44923.256	108.714	1554.712		
P165	10.8	-45260.371	109.343	1564.340		
P166	10.9	-45597.486	109.972	1573.968		
P167	10.0	-45934.601	110.601	1583.596		
P168	10.1	-46271.716	111.230	1593.224		
P169	10.2	-46608.831	111.859	1602.852		
P170	10.3	-46945.946	112.488	1612.480		
P171	10.4	-47283.061	113.117	1622.108		
P172	10.5	-47620.176	113.746	1631.736		
P173	10.6	-47957.291	114.375	1641.364		
P174	10.7	-48294.406	115.004	1650.992		
P175	10.8	-48631.521	115.633	1660.620		
P176	10.9	-48968.636	116.262	1670.248		
P177	10.0	-49305.751	116.891	1679.876		
P178	10.1	-49642.866	117.520	1689.504		
P179	10.2	-50079.981	118.149	1699.132		
P180	10.3	-50417.096	118.778	1708.760		
P181	10.4	-50754.211	119.407	1718.388		
P182	10.5	-51091.326	119.936	1728.016		
P						

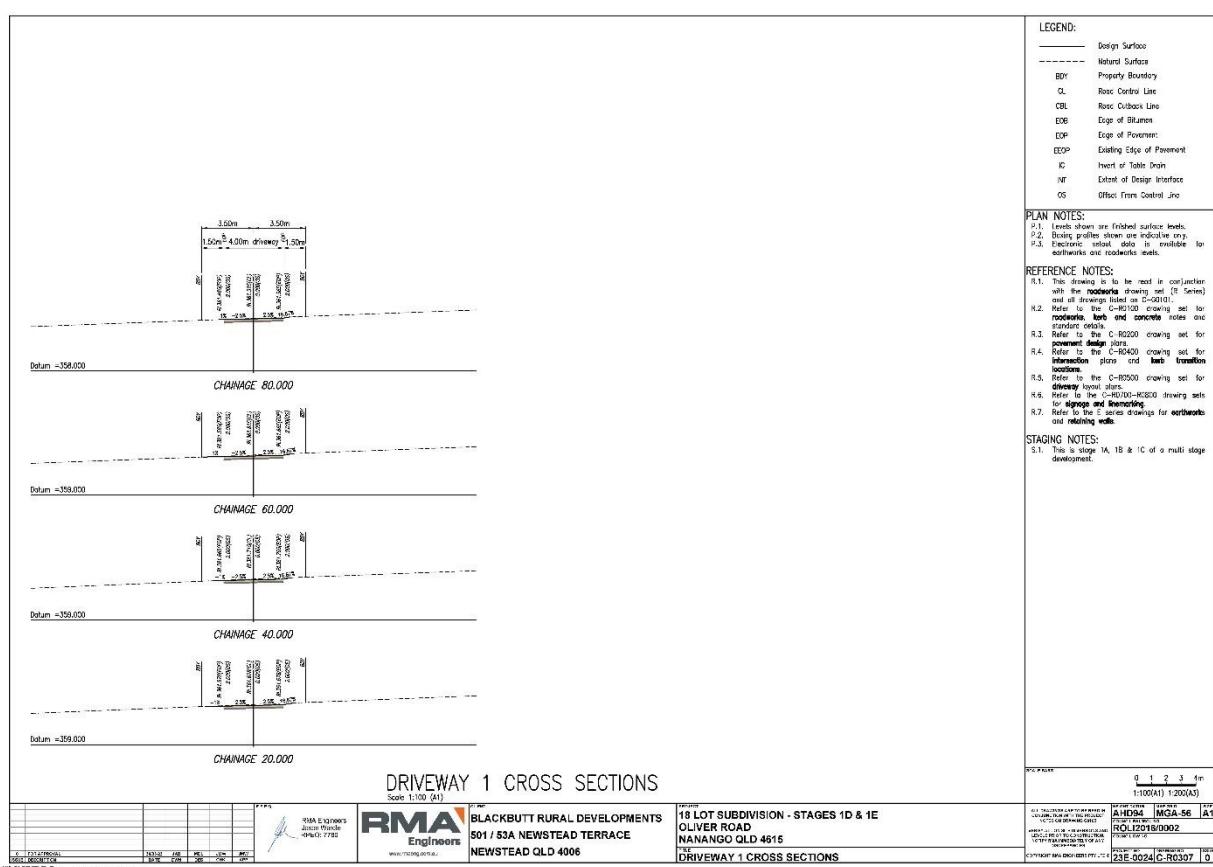
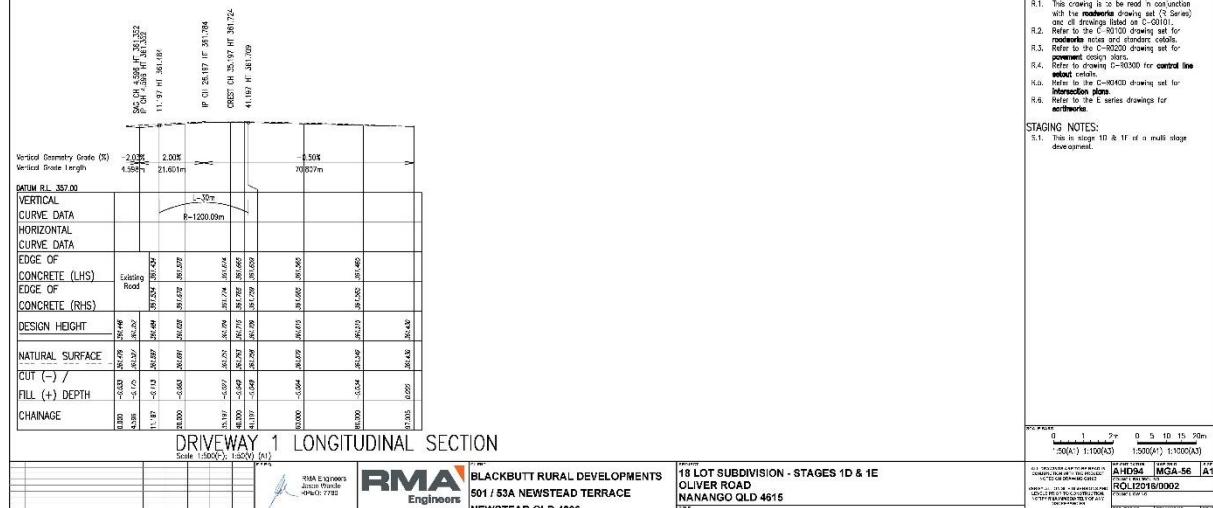
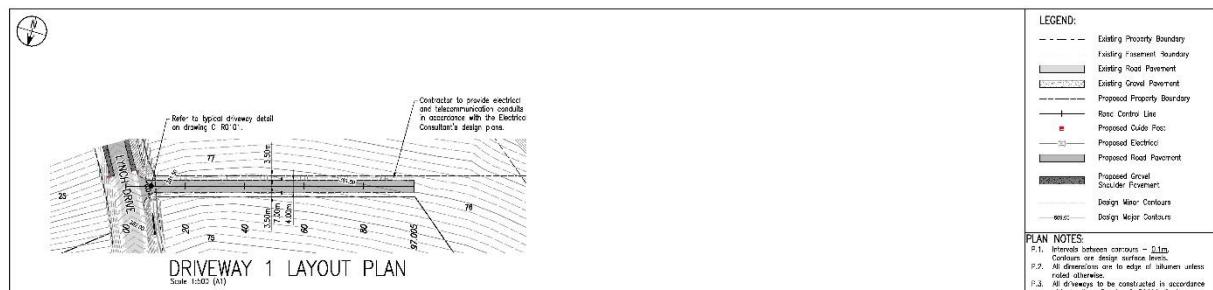
DRIVeway 1 Control Line Setout Table				
PT	DRIVAGE	EASTING	NORTHING	BEARING
P 1	GND	10802.206	35481.200	225°23.95
P 2	87.00	10802.404	35481.246	225°23.80

ROAD CONTROL LINE SETOUT TABLES



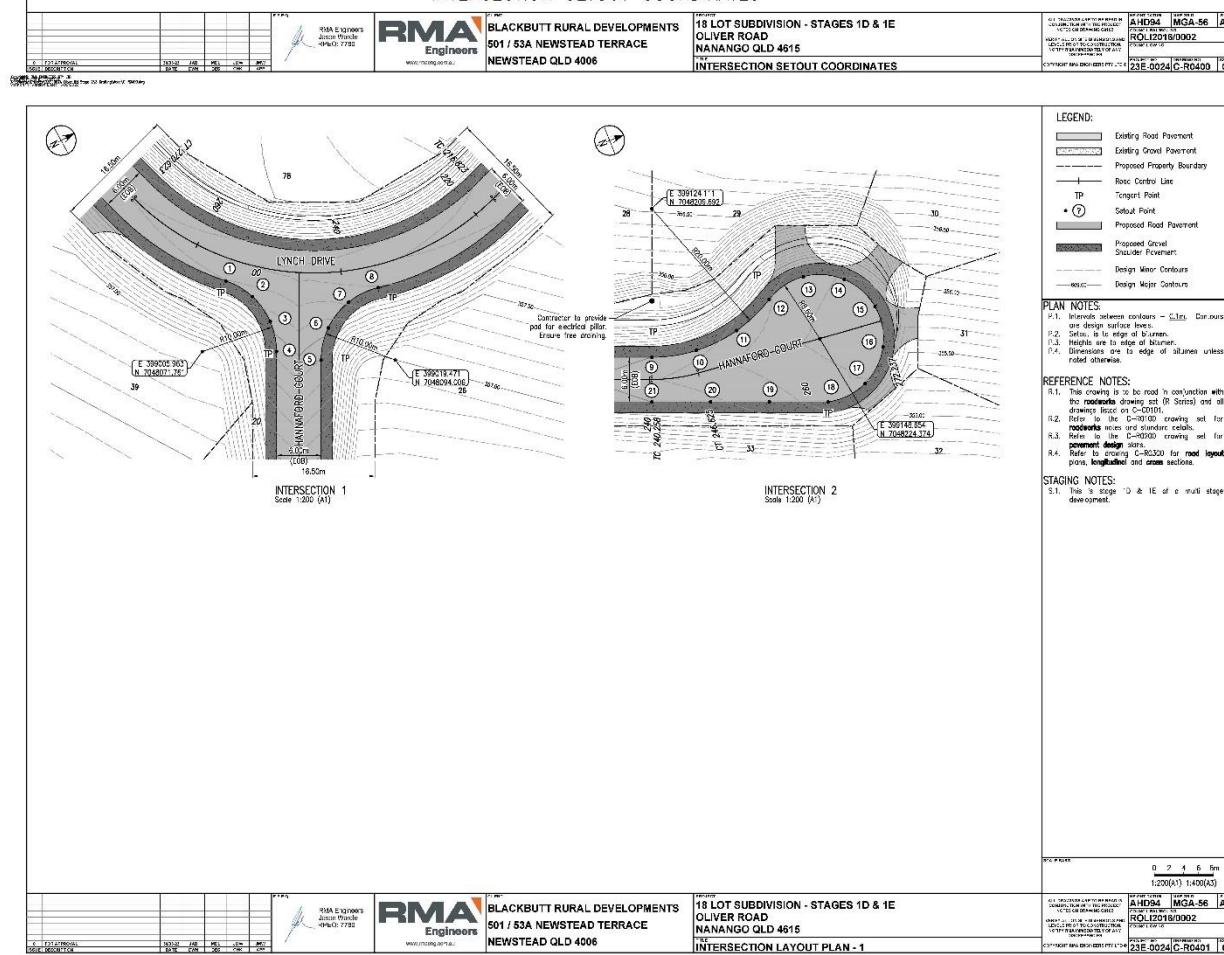


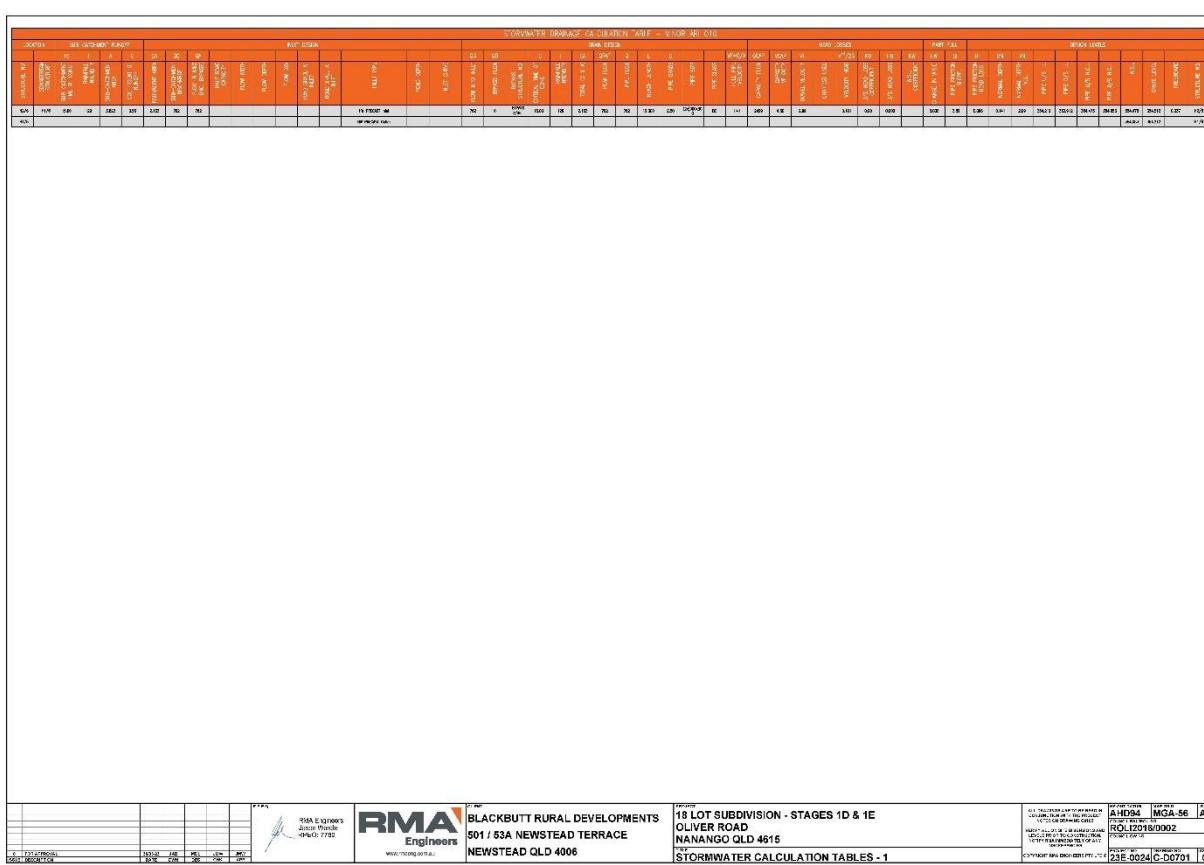
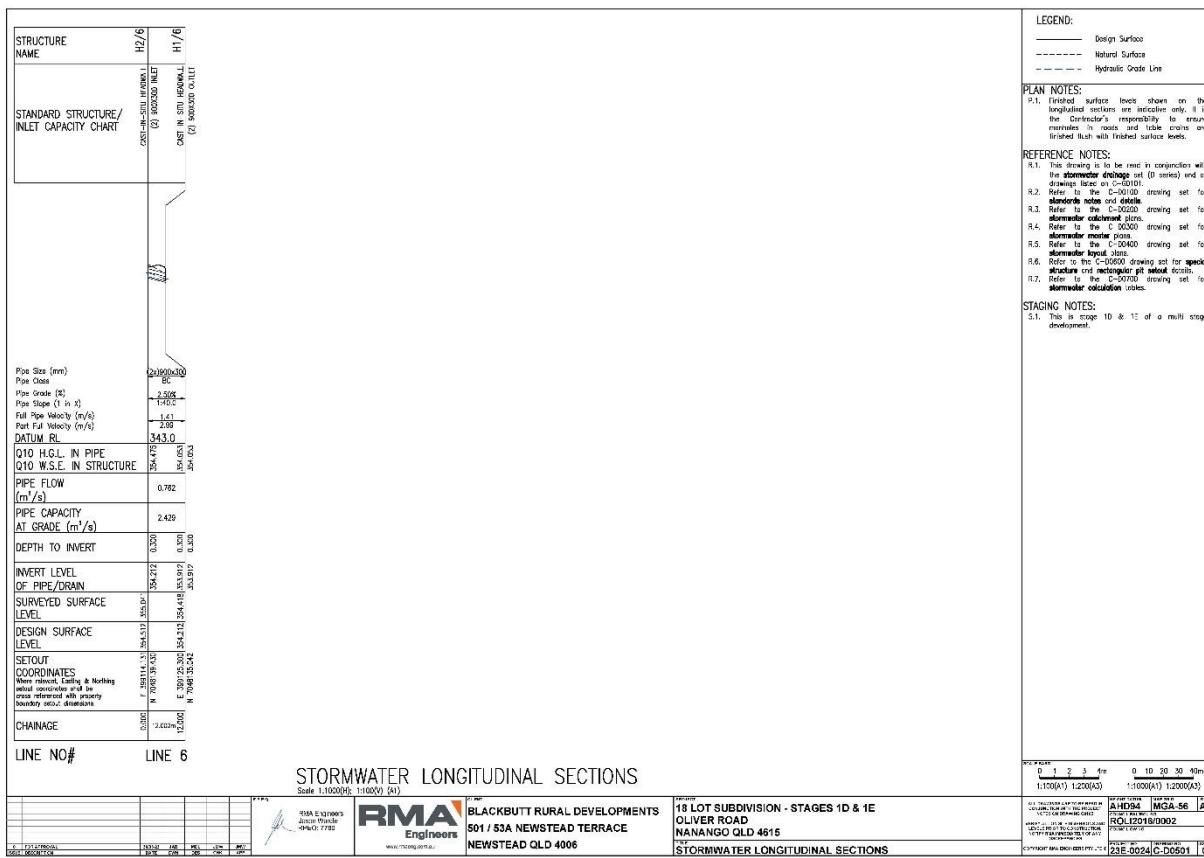


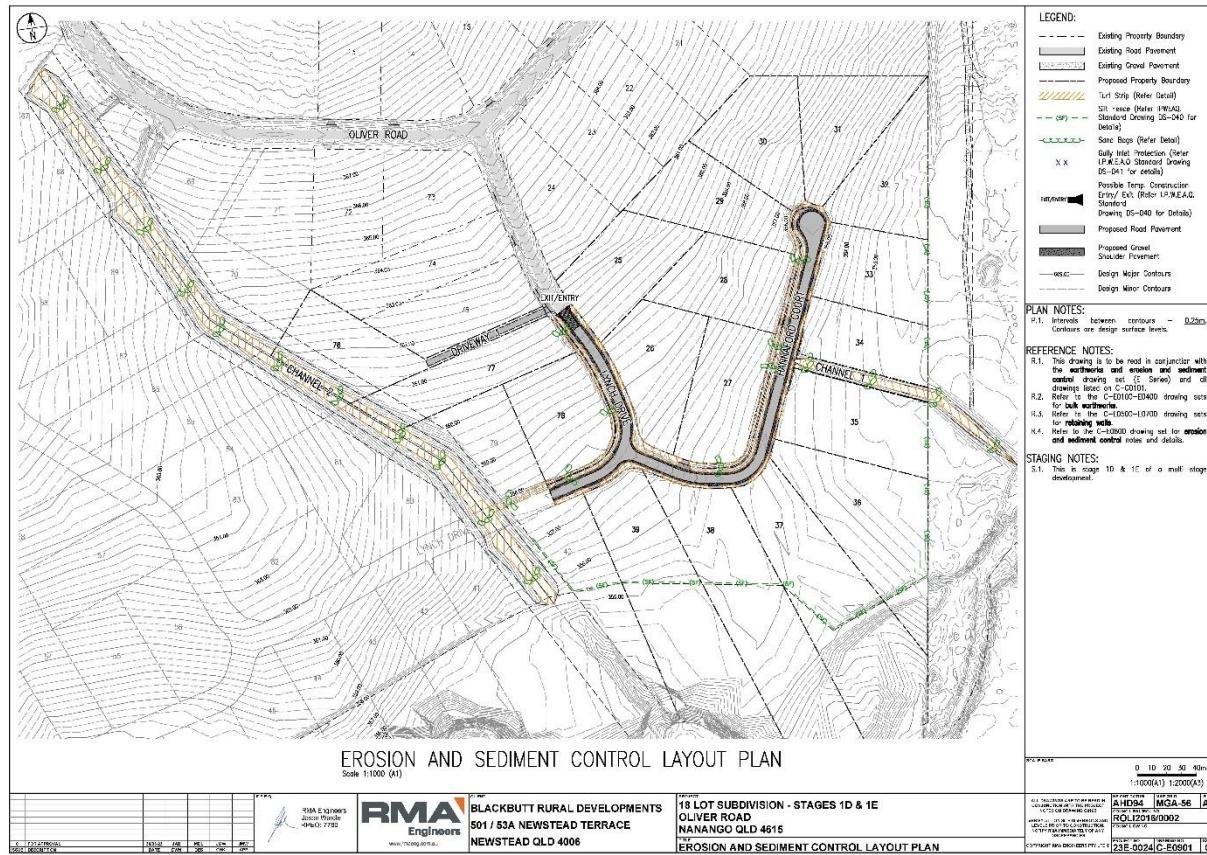


POINT	EARING	WASHING	LEVEL
1	35489-75	751909-154	387-96
2	36020-791	764092-52	358-77
3	36305-820	724091-174	358-04
4	36301-705	754696-332	357130
5	36814-161	754696-332	357184
6	36901-551	750609-165	358196
7	36909-830	761609-220	363215
8	36905-520	761609-220	358292
9	361-272	764203-379	355100
10	369-482	764202-508	355555
11	369-4352	764214-242	356268
12	369-174	764212-274	355633
13	36842-111	758275-398	355757
14	36947-101	764205-279	361819
15	36947-181	764202-879	355571
16	369-52-816	764251-300	355863
17	369-56-535	764252-871	355794
18	369-57-204	764252-234	355738
19	369-16-106	764257-191	356169
20	369-18-310	764257-191	356169
21	369-18-310	761609-159	356169

INTERSECTION SETOUT COORDINATES

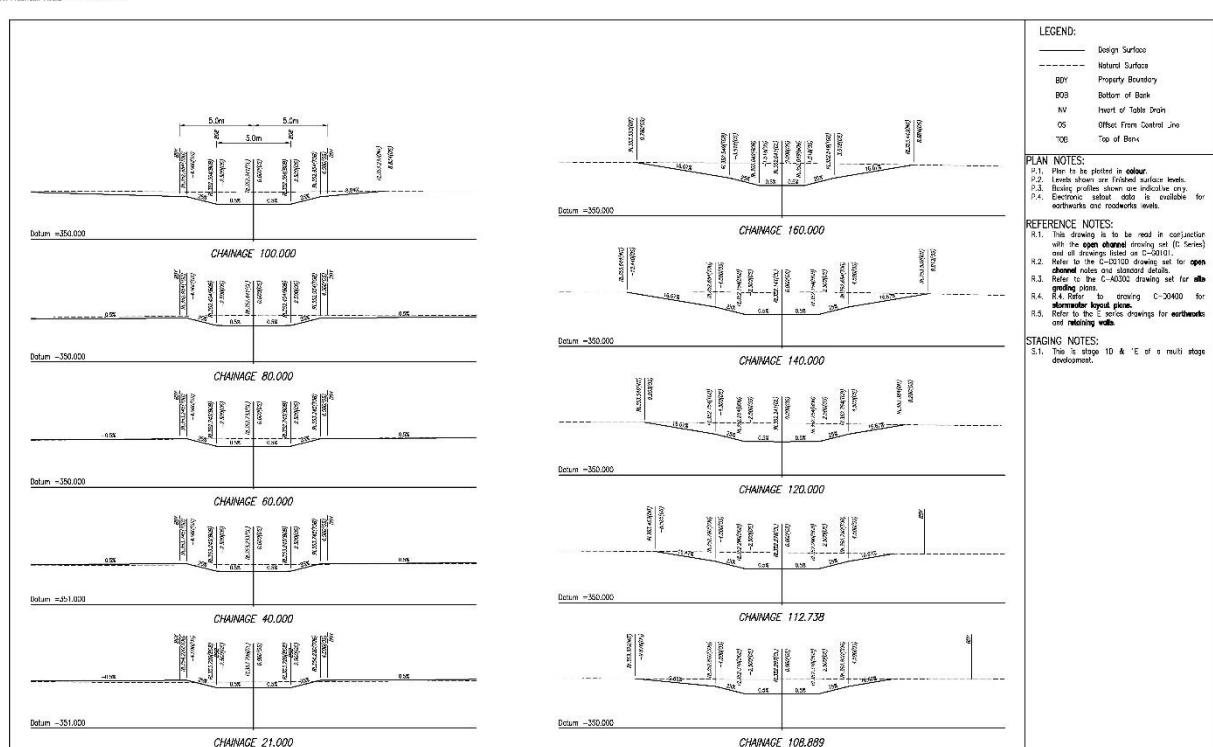
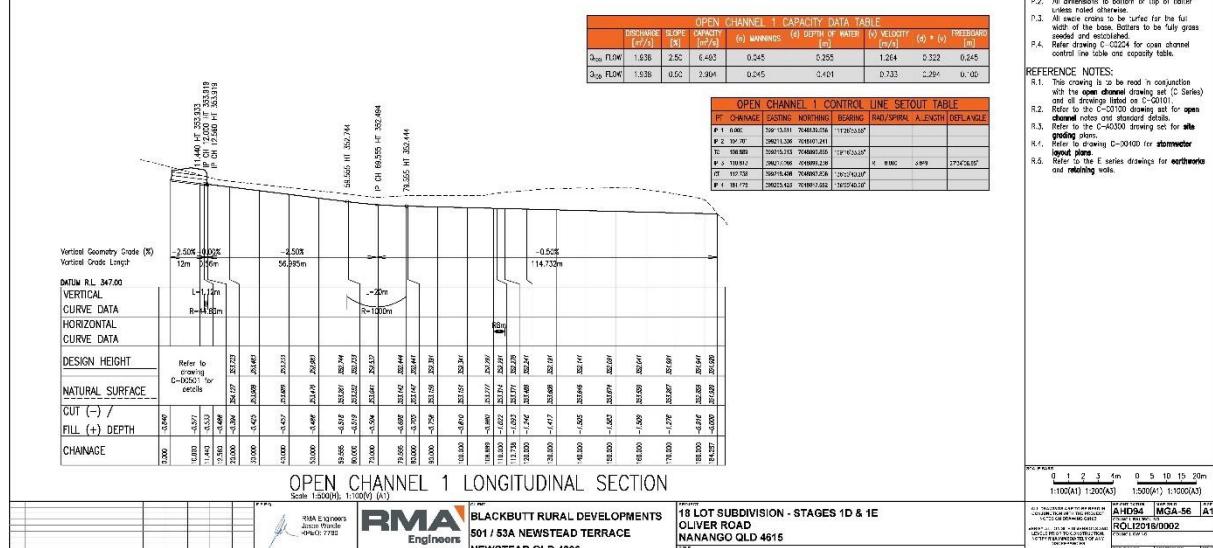
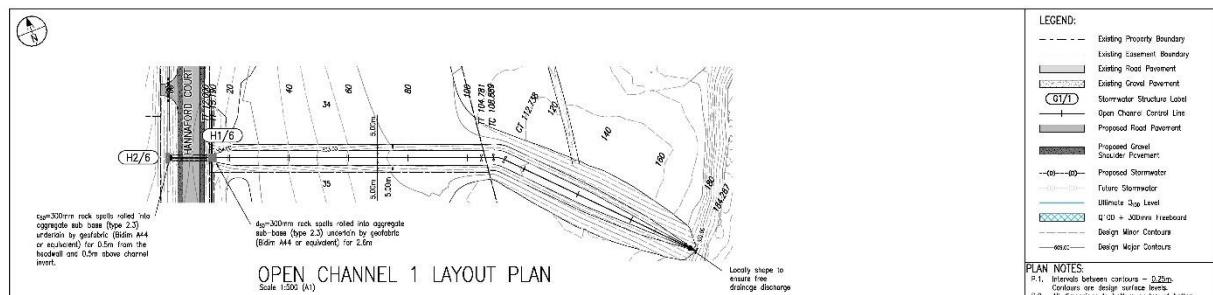




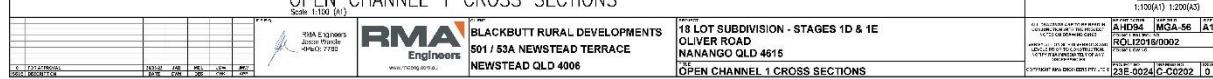


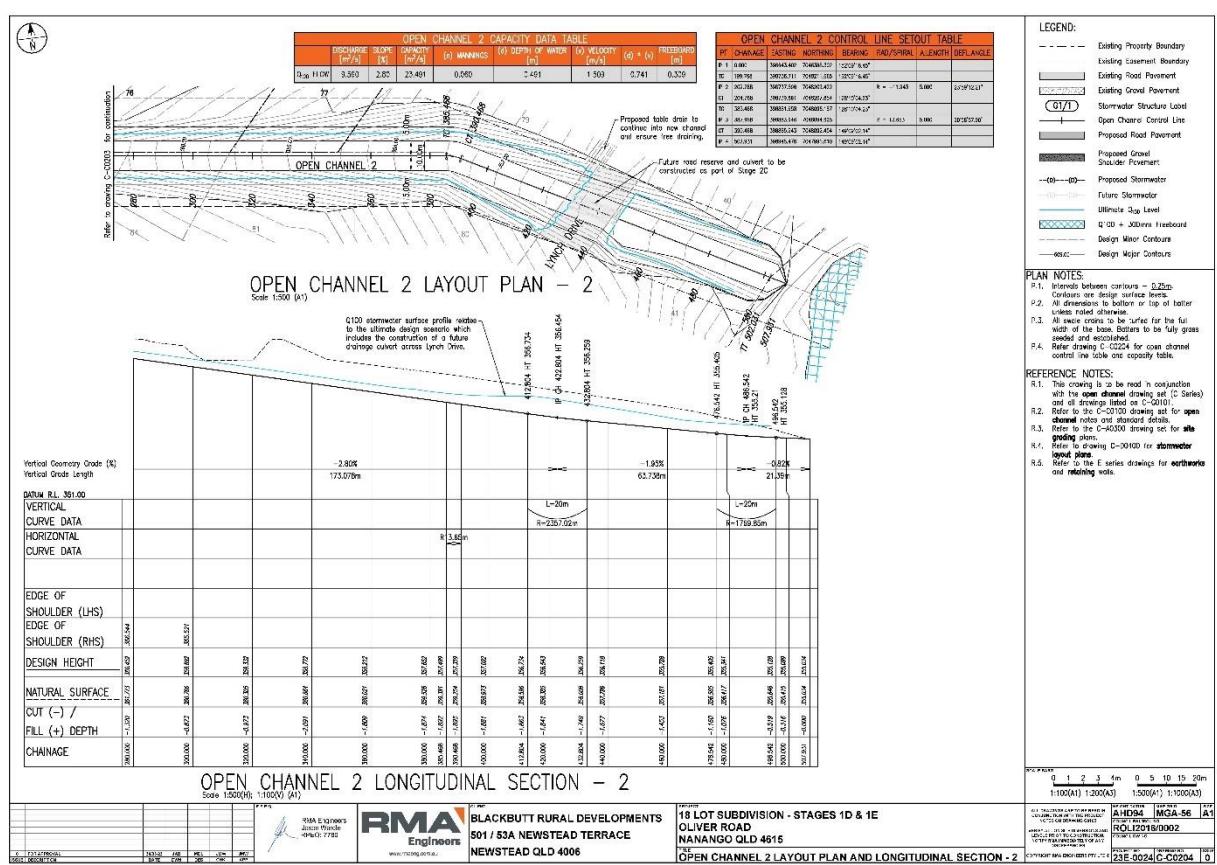
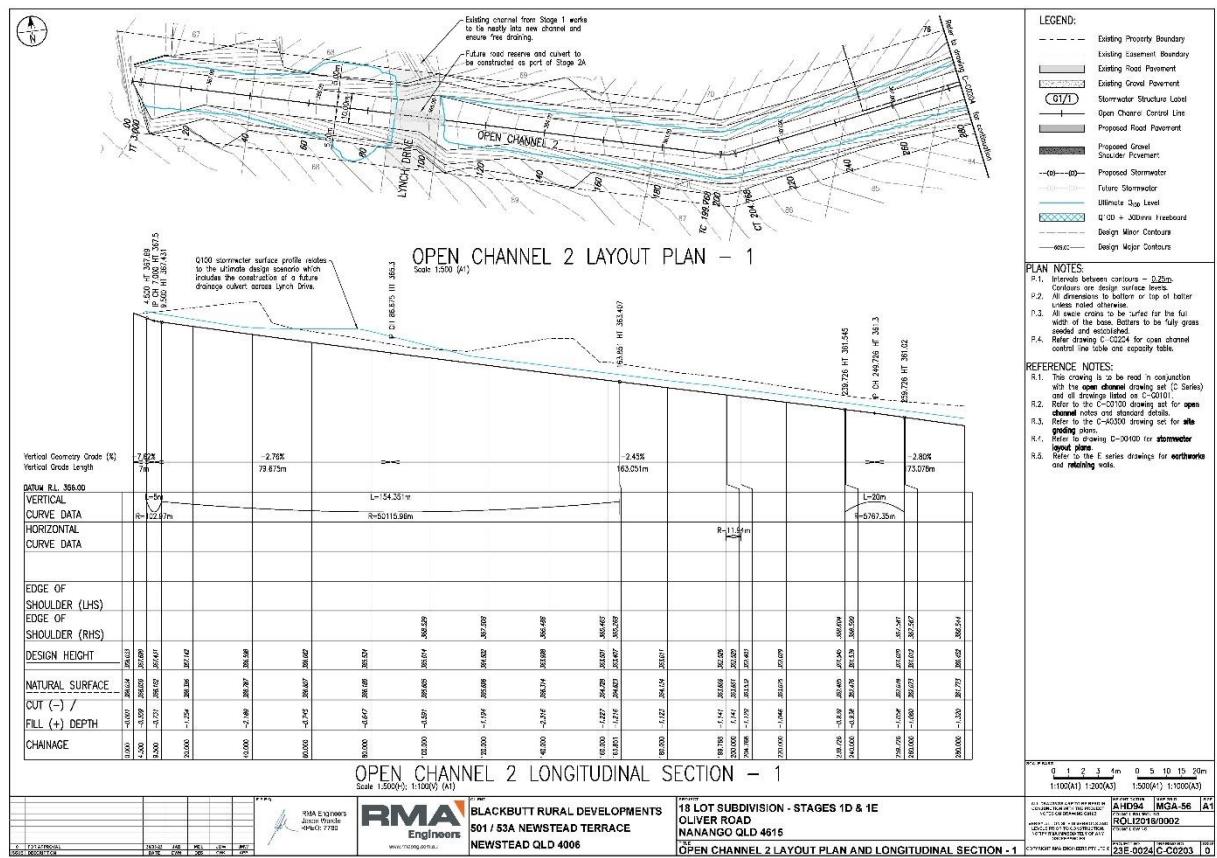
OPEN CHANNEL NOTES	
GENERAL	
G.1	Any drawing is to be read in conjunction with Project Notes on drawing D-02-25
G.2	In case of conflict, a note may apply and the note can be ignored. It is the Contractor's responsibility to confirm whether a note applies or not with the Superintendent.
PIPEWORK	
P.1	Pipes are to be laid on the longitudinal section(s).
P.2	The tributary pipe products can be used for stormwater drainage.
RD-02-25	
P.3.a	o DN100: Reinforced concrete class (7) minimum rubber joint pipe
P.3.b	o DN100: Reinforced concrete class (2) minimum flex joint pipe with external rubber
JUNCTIONS	
J.1	Galv. hot dip and zinc are listed in the longitudinal section(s).
J.2	All junctions shall be made with a 90° bend or 180° bend.
J.3	All joints shall be "Push-fit", "Hinged" or "V3A" product, recessed type side slot with surface free self-aligning.
J.4	The pipe section to be connected to the junctions and the rest.
J.5	The pipe section to comply with QLM 20812.
J.6	Refer PWEA standard drawing DS-02-02-25-950 to insulation notes.
MANHOLES	
J.7	Manhole spans and sizes are listed on the longitudinal section(s).
J.8	All manholes shall be recessed and be DN100mm and concrete sizes with an off set of 100mm. PWEA standard drawing DS-02-02-25-950 shall be followed for the sizes.
J.9	Manholes are to be set to the centre of a road and placed 1.5m from the property boundary to the centre of a private road network.
UDS	
J.10	The sections do not exist as dimensioned and no type D, recessed manholes and located on the property boundary.
J.11	Manholes with the road surface and from them shall be 100mm from the treated surface level, while manholes installed within private property and shall be 70mm above the treated surface level.
J.12	Refer to PWEA standard drawings DS-02-02-25-921 for installation details.
J.13	The manholes shall be 300mm in diameter and shall be set over a 1.5m section along the carriageway and these shall be recessed and are recessed, recessed sections are to be used subject to the prior agreement of the Consulting Engineer.
CULVERTS	
C.1	Culvert invert gradients are to be longitudinal plane.
C.2	Culvert invert shall be 100mm above the treated surface level, while installed in accordance with Transport and Main Roads drainage drawings.
C.3	Culvert invert sections shall be installed in accordance with the manufacturer's specification. The ultimate maximum culvert bending?
HEADWALLS	
H.1	Headwalls are to be determined as shown on the block plan.
H.2	Please, nominate 300mm off cuts and fit the installed in accordance with the transport authority specification.
H.3	Reinforced headwalls, a concrete end caps shall be provided as per the transport authority.
H.4	Reinforced headwalls, a concrete end caps shall be installed in accordance with Transport and Main Roads standard drawing 1932.
H.5	Reinforced headwalls, a concrete end caps shall be installed in accordance with Transport and Main Roads standard drawing 1934 (two drawings).
H.6	Galvanised PPE sections of approximately 500 to 1000mm in diameter.
H.7	Rocks and stones are to be placed directly downstream in the culvert areas shall be installed in accordance with QLM drawing 20811 and 6-12.
VERIFICATION	
V.1	Site drawings (Consulting Engineer, architect, mandatory requirements)
V.1.1	o The depth over pipe
V.1.2	o Joint height or grade
V.1.3	o Pipe length
V.1.4	o Bore gauge review and correct (multiple end pipe and TEC300 only)
V.1.5	o Base slab thickness prior to concrete placement (TEC300 only)
V.1.6	o Pipe alignment prior to concrete placement (TEC300 only)
V.1.7	o Pipe alignment prior to concrete placement (TEC300 only)
V.1.8	o Pipe alignment prior to concrete placement (TEC300 only)
V.1.9	o Pipe alignment prior to concrete placement (TEC300 only)
V.1.10	o Pipe alignment prior to concrete placement (TEC300 only)

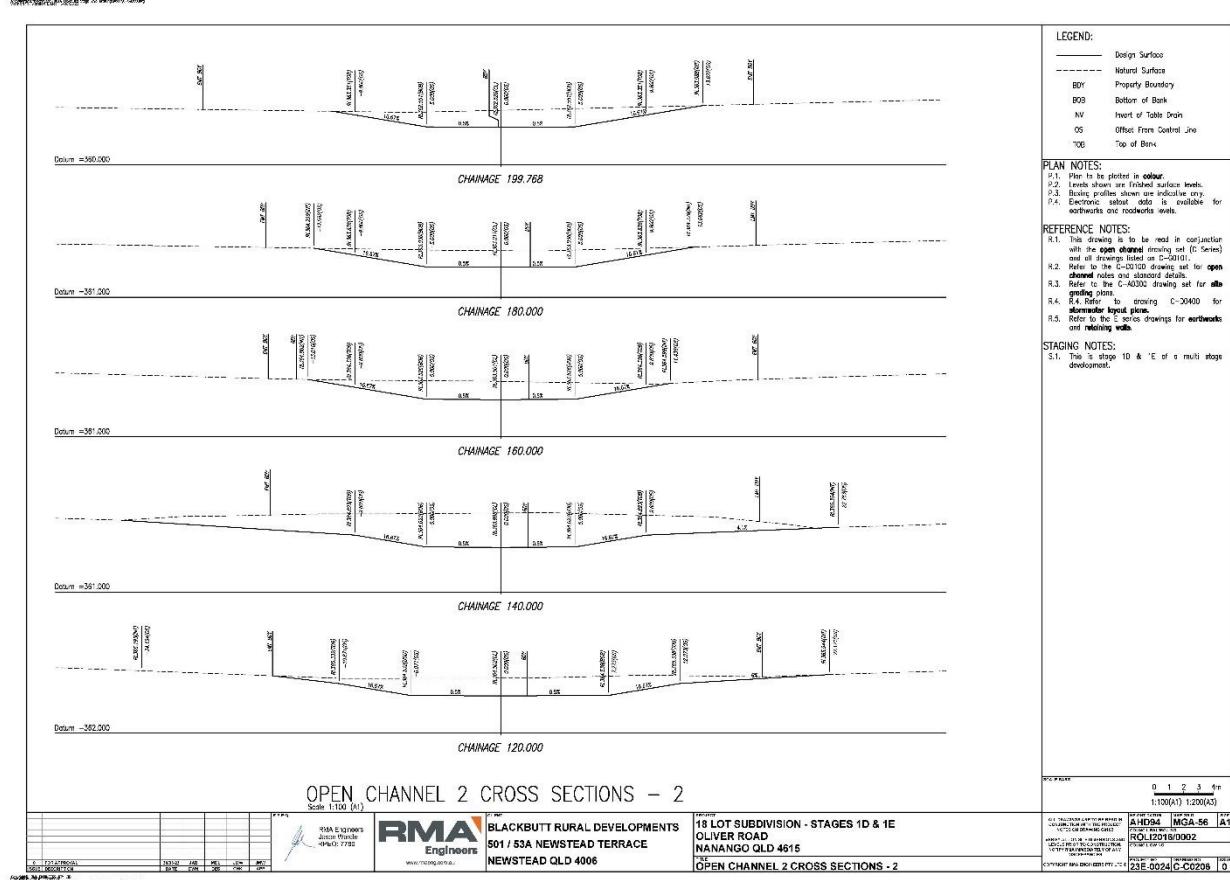
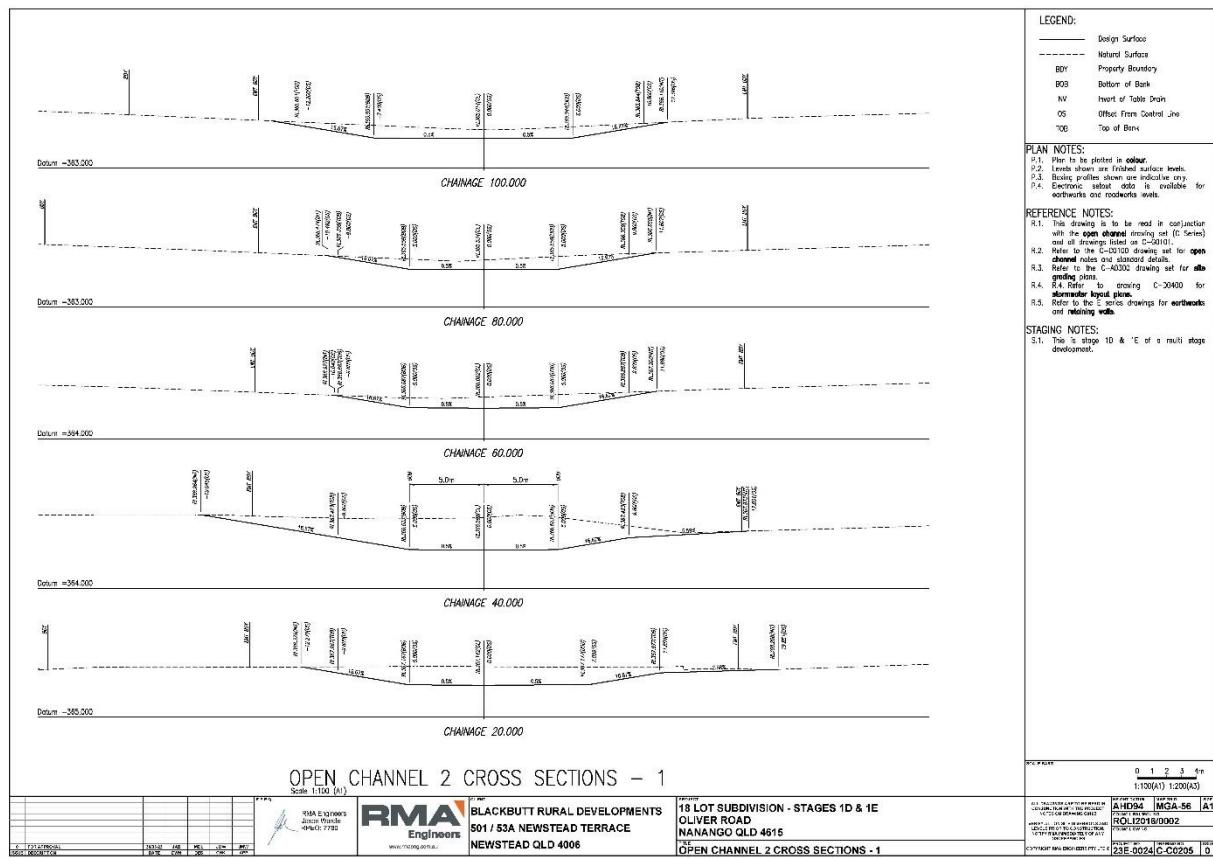
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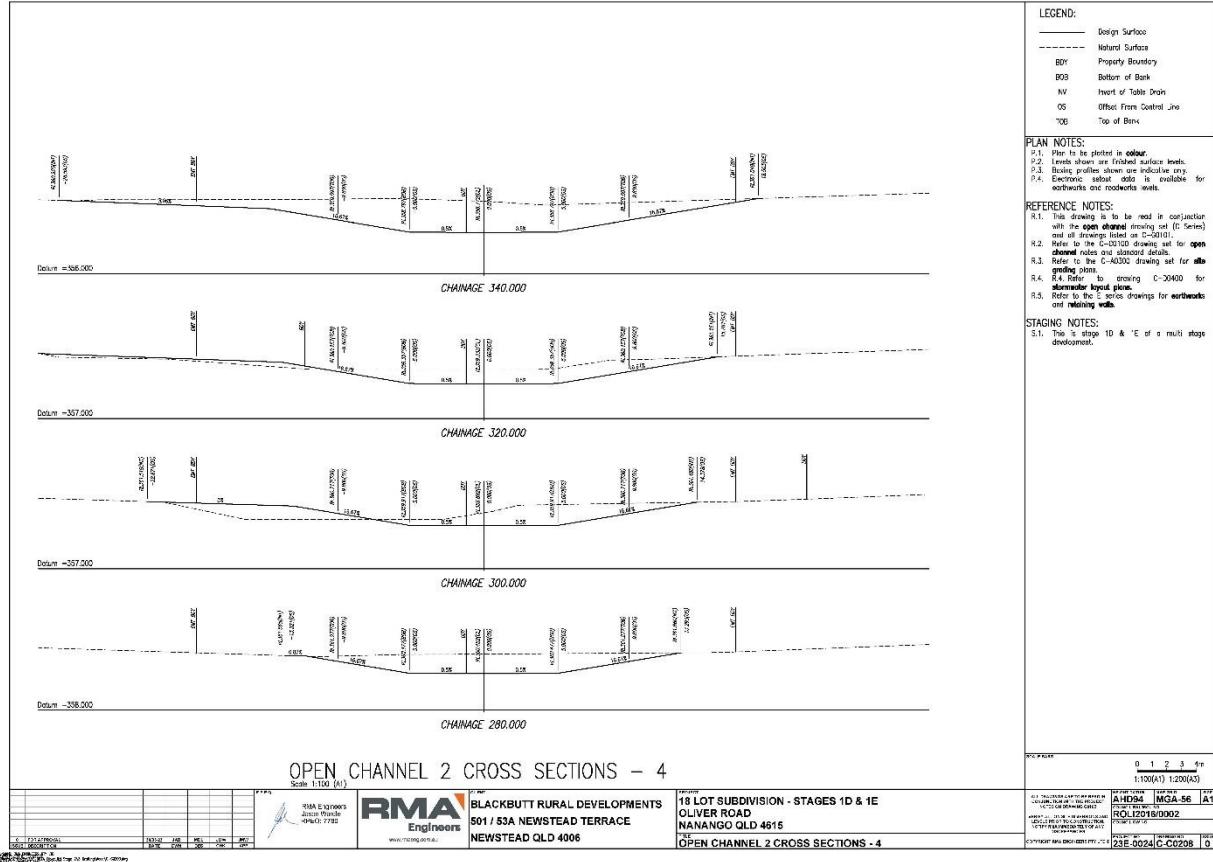
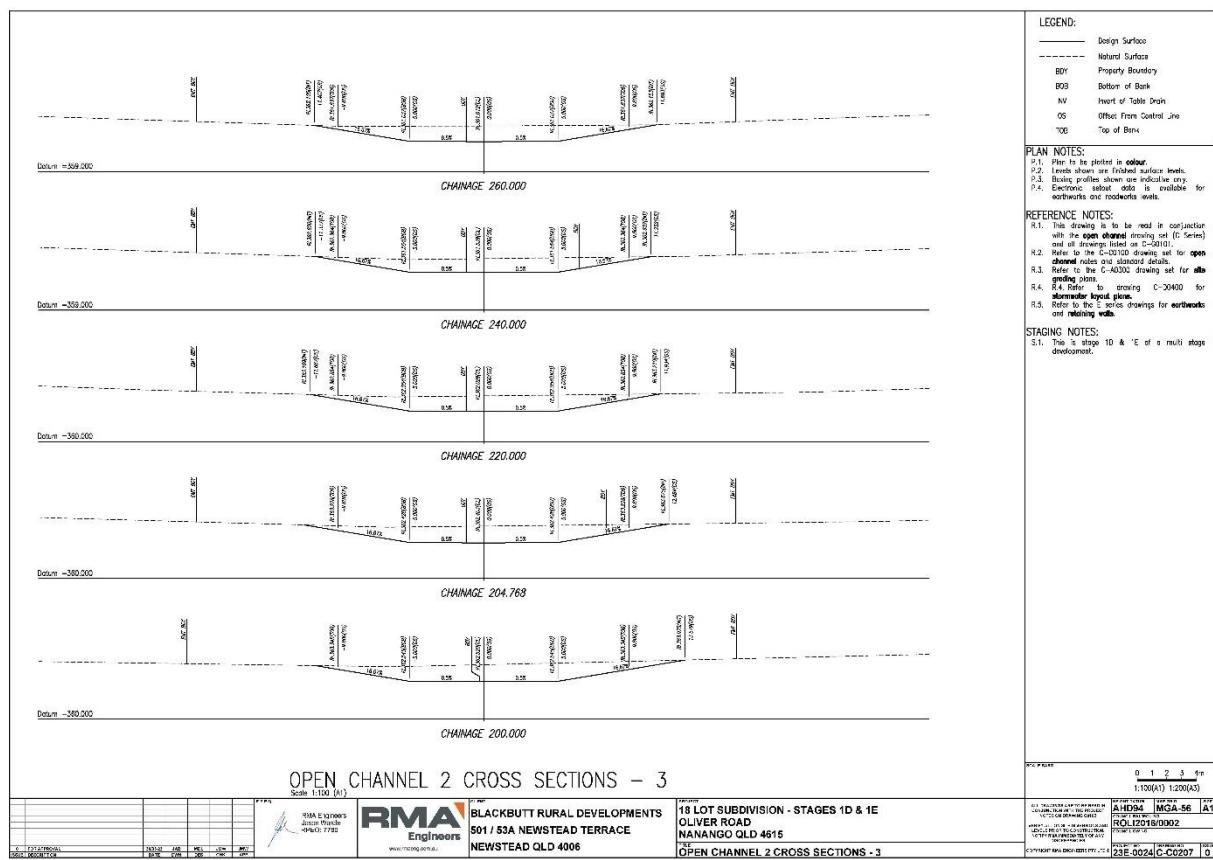


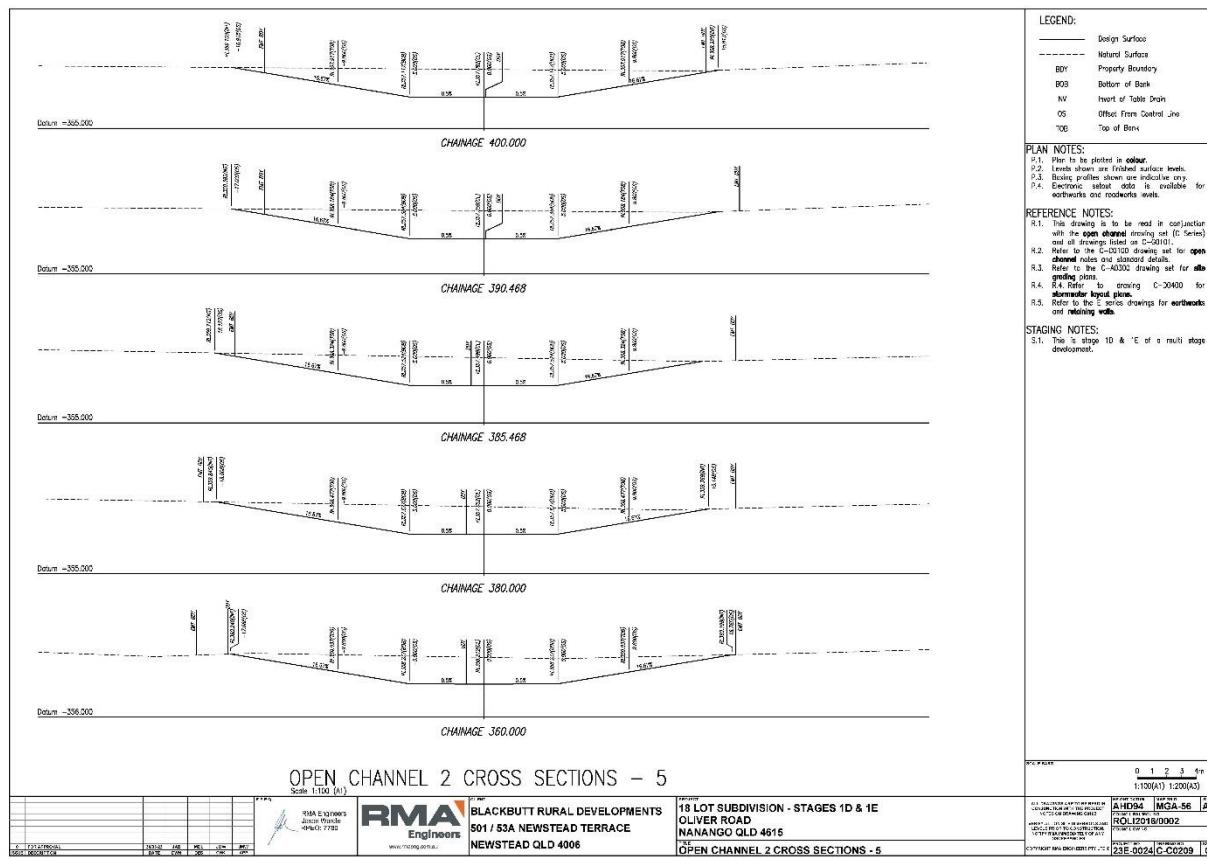
OPEN CHANNEL 1 CROSS SECTIONS











Scale 1:100 (ft) 0 1 2 3 4ft 1:100(A1) 1:200(A3)

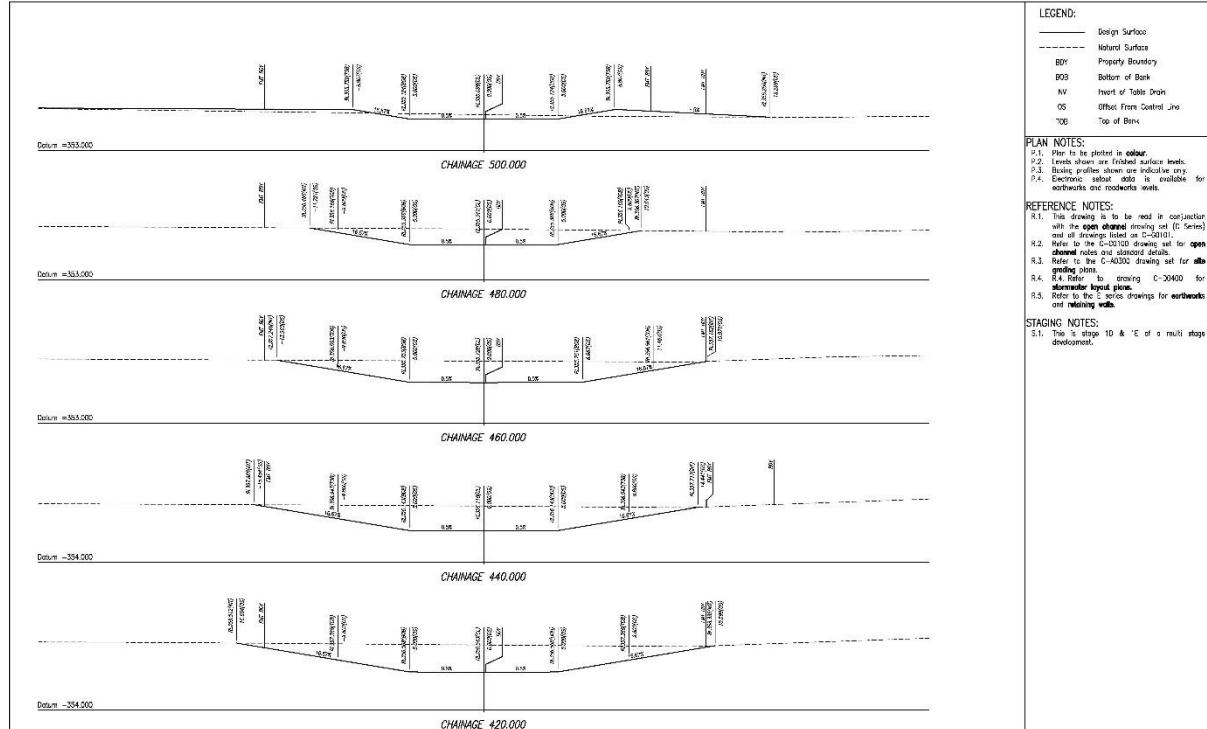
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OPEN CHANNEL 2 CROSS SECTIONS - 5

18 LOT SUBDIVISION - STAGES 1D & 1E
OLIVER ROAD
NANANGO QLD 4615

OPEN CHANNEL 2 CROSS SECTIONS - 5

23E-0024 C-C0209 0



Scale 1:100 (ft) 0 1 2 3 4ft 1:100(A1) 1:200(A3)

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ROL12018/0002

OPEN CHANNEL 2 CROSS SECTIONS - 6

18 LOT SUBDIVISION - STAGES 1D & 1E
OLIVER ROAD
NANANGO QLD 4615

OPEN CHANNEL 2 CROSS SECTIONS - 6

23E-0024 C-C0210 0

Appeal Rights

PLANNING ACT 2016 & THE PLANNING REGULATION 2017

Chapter 6 Dispute resolution

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

(1) Schedule 1 of the *Planning Act 2016* states –

- (a) Matters that may be appealed to –
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
- (b) The person –
 - (i) who may appeal a matter (**the appellant**); and
 - (ii) who is a respondent in an appeal of the matter; and
 - (iii) who is a co-respondent in an appeal of the matter; and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.

(Refer to Schedule 1 of the Planning Act 2016)

(2) An appellant may start an appeal within the appeal period.

(3) The **appeal period** is –

- (a) for an appeal by a building advisory agency – 10 business days after a decision notice for the decision is given to the agency; or
- (b) for an appeal against a deemed refusal – at any time after the deemed refusal happens; or
- (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises – 20 business days after a notice is published under section 269(3)(a) or (4); or
- (d) for an appeal against an infrastructure charges notice – 20 business days after the infrastructure charges notice is given to the person; or
- (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given – 30 business days after the applicant gives the deemed approval notice to the assessment manager; or
- (f) for any other appeal – 20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note –

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.
- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt. It is declared that an appeal against an infrastructure charges notice must not be about –
 - (a) the adopted charge itself; or
 - (b) for a decision about an offset or refund –
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that –
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar must, within the service period, give a copy of the notice of appeal to –
 - (a) the respondent for the appeal; and
 - (b) each co-respondent for the appeal; and

- (c) for an appeal about a development application under schedule 1, table 1, item 1 – each principal submitter for the development application; and
- (d) for an appeal about a change application under schedule 1, table 1, item 2 – each principal submitter for the change application; and
- (e) each person who may elect to become a co-respondent for the appeal, other than an eligible submitter who is not a principal submitter in an appeal under paragraph (c) or (d); and
- (f) for an appeal to the P&E Court – the chief executive; and
- (g) for an appeal to a tribunal under another Act – any other person who the registrar considers appropriate.

(4) The **service period** is –

- (a) if a submitter or advice agency started the appeal in the P&E Court – 2 business days after the appeal has started; or
- (b) otherwise – 10 business days after the appeal is started.

(5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).

(6) A person elects to be a co-respondent by filing a notice of election, in the approved form, within 10 business days after the notice of appeal is given to the person.

231 Other appeals

- (1) Subject to this chapter, schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.
- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section –
decision includes –
 - (a) conduct engaged in for the purpose of making a decision; and
 - (b) other conduct that relates to the making of a decision; and
 - (c) the making of a decision or failure to make a decision; and
 - (d) a purported decision; and
 - (e) a deemed refusal.*non-appealable*, for a decision or matter, means the decision or matter –
 - (a) is final and conclusive; and
 - (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, a tribunal or another entity; and
 - (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, a tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal. However, the P&E Court may hear and decide an appeal even if the person has not complied with the rules of the P&E Court.